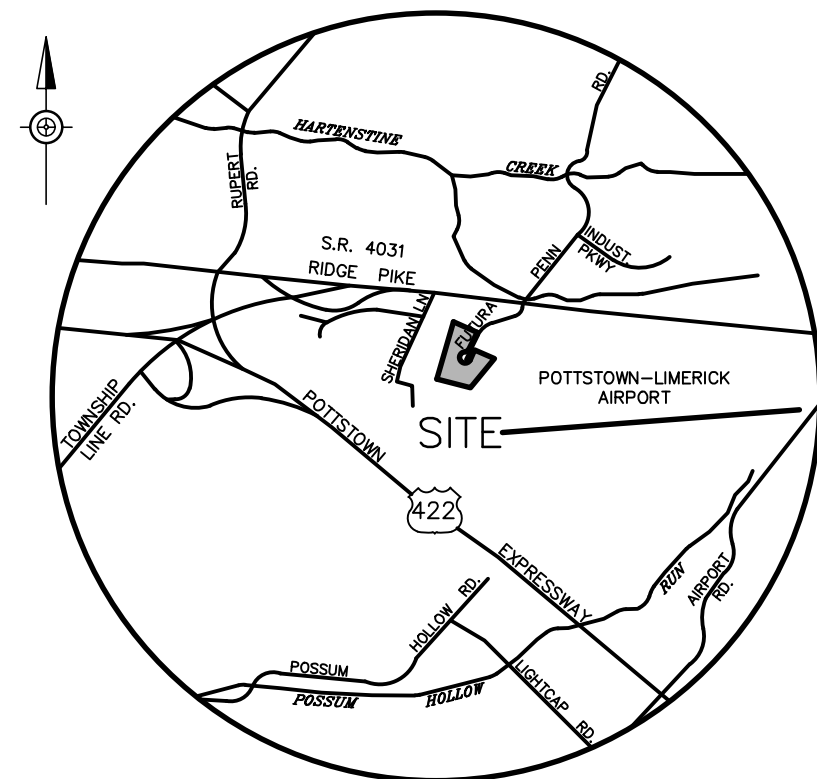


# PRELIMINARY & FINAL SUBDIVISION & LAND DEVELOPMENT PLANS FOR MOSCARIELLO AT FUTURA DRIVE

LIMERICK TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA



LOCATION MAP  
SCALE: 1"=2000'

#### SITE DATA:

RECORD OWNER AND APPLICANT:  
AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

#### LOT 2

TAX PIN 37-00-00748-02-5  
DEED BOOK 6191-00061

#### LOT 3

TAX PIN 37-00-00748-03-4  
DEED BOOK 6191-00061

#### LOT 4

TAX PIN 37-00-00748-04-3  
DEED BOOK 6191-00061

PROPOSED USE  
SANITARY SEWER  
WATER

SELF-STORAGE WAREHOUSE  
ON-SITE (HOLDING TANK)  
ON-SITE (WELL)

#### PROPOSED DEVELOPMENT:

THIS PROJECT WILL COMBINE LOTS 2, 3 AND 4 PREVIOUSLY CREATED BY SUBDIVISION PREPARED FOR ANY PROPERTIES BY BURSICH ASSOCIATES INC., AND DEVELOP IT AS A SELF-STORAGE WAREHOUSE FACILITY.

#### LOT AREAS:

|  |                          |
|--|--------------------------|
| EXISTING LOT 2 (TAX PARCEL 37-00-00748-02-5) | +72,630.5 SF             |
| EXISTING LOT 3 (TAX PARCEL 37-00-00748-03-4) | +70,322.3 SF             |
| EXISTING LOT 4 (TAX PARCEL 37-00-00748-04-3) | +66,924.4 SF             |
| FUTURA DRIVE R.O.W. ABANDONED                | +16,067.1 SF             |
| FUTURA DRIVE R.O.W. NEW                      | - 6,966.7 SF             |
| TOTAL COMBINED LOT AREA                      | 218,977.6 SF (5.027 AC.) |

#### FUTURA DRIVE RIGHT OF WAY AREAS:

|                                       |              |
|---------------------------------------|--------------|
| EXISTING RIGHT OF WAY                 | +48,637.8 SF |
| EXISTING RIGHT OF WAY TO BE ABANDONED | -16,067.1 SF |
| RIGHT OF WAY TO BE ADDED              | + 6,966.7 SF |
| TOTAL ADJUSTED RIGHT OF WAY AREA      | 39,537.4 SF  |

#### ZONING DATA:

PROPOSED USE: STORAGE/WAREHOUSE  
OFFICE/LIGHT INDUSTRIAL DISTRICT - CLASS TWO

|  | REQUIRED:          | PROPOSED:                  |
|--|--------------------|----------------------------|
| MIN. LOT AREA:   | 3 AC               | 5.027 AC                   |
| NET BUILDABLE AREA (NBA)                                   | 300'               | 5.003 AC                   |
| MIN. LOT WIDTH:  | 376'               | 376'                       |
| MAX. IMPERVIOUS COVER (OF NET LOT AREA)                    | 70%                | 54.2% (2,711 AC/5.003 AC)  |
| MAX. BUILDING COVERAGE: (OF NBA)                           | 35%                | 23.9% (52,000 SF/5.003 AC) |
| WAREHOUSE AS PRIMARY USE:                                  | 20%                | 0.1% (2,100 SF/5.003 AC)   |
| MAXIMUM OUTDOOR STORAGE AREA                               | 0.40               | 0.395 (86,000 SF/5.003 AC) |
| MAX FLOOR AREA RATIO: (OF NBA)                             |                    |                            |
| BUILDING SETBACKS (FEET)                                   |                    |                            |
| FROM ULTIMATE ROW OF A STREET                              | 50'                | 50'                        |
| FROM A LOT BNDRY ABUTTING A RES. DIST.                     | 100'               | N/A                        |
| FROM ANY OTHER LOT LINE                                    | 30'                | 30'                        |
| PARKING, SERVICE AREA OR INTERNAL DRIVEWAY SETBACKS (FEET) |                    |                            |
| FROM ULTIMATE ROW OF A STREET                              | 30'                | N/A                        |
| FROM A LOT BNDRY ABUTTING A RES. DISTRICT                  | 50'                | N/A                        |
| FROM A LOT BNDRY ABUTTING A NONRES. DIST.                  | 12', UNLESS SHARED | 12'                        |
| FROM A BUILDING (EXCEPT LOADING DOCKS)                     | 10'                | <30                        |
| MAX BUILDING HEIGHT  | 35'                | <30                        |
| MAX NUMBER OF STORIES                                      | 3                  | 1 AND 2                    |

#### ZONING REQUIREMENTS FOR PARKING:

OFFICE: 1 SPACE PER 300 S.F.  
WAREHOUSE: 1 SPACE PER 1500 S.F.

#### PARKING REQUIREMENTS:

|                 |  |          |   |
|-----------------|--|----------|---|
| AREAS           | 1,000 SF OFFICE,<br>1,800 SF OFFICE SUPPLIES AREA<br>83,200 SF WAREHOUSE | REQUIRED | PROPOSED  |
| USE:            |  | 5        | 6   |
| OFFICE-SUPPLIES |  |          |   |
| WAREHOUSE       |  | 56       | 56 (TEMPORARY PARKING IN DRIVE LANES IN FRONT OF STORAGE UNITS) |
| TOTAL SPACES    |  | 61       | 62  |

#### IMPERVIOUS COVERAGES:

|           |           |
|-----------|-----------|
| BUILDINGS | 1.194 AC. |
| PAVEMENT  | 1.502 AC. |
| WALKS     | 0.015 AC. |
| TOTAL     | 2.711 AC. |

#### WOODLAND DISTURBANCE

|                       |                  |
|-----------------------|------------------|
| EXISTING WOODLANDS    | = 0.81 AC        |
| PERMITTED DISTURBANCE | = 0.405 AC (50%) |
| PROPOSED DISTURBANCE  | = 0.36 AC (44%)  |

#### NET BUILDABLE ACREAGE CALC.-COMBINED LOT (NBA):

|  |            |           |
|--|------------|-----------|
| FROM THE GROSS ACREAGE OF THE SITE SUBTRACT THE FOLLOWING: | TOTAL AREA | NET AREA  |
| A) EXISTING ROAD R/W                                       | 5.027 AC.  | 5.027 AC. |
| B) ULTIMATE ROAD R/W                                       | 0 AC.      | 0 AC.**   |
| C) NON-CONTIGUOUS LAND                                     | 0 AC.      | 0 AC.     |
| D) 100% OF FLOODPLAIN LAND                                 | 0 AC.      | 0 AC.     |
| E) 100% OF WETLANDS  | 0 AC.      | 0 AC.     |
| F) 100% OF PONDS OR LAKES                                  | 0 AC.      | 0 AC.     |
| G) 50% OF SLOPES FROM 15%-25%                              | 0 AC.      | 0 AC.*    |
| H) 85% OF SLOPES OVER 25%                                  | 0 AC.      | 0 AC.*    |
| I) 50% OF EXISTING GAS UTILITY R.O.W.                      | 0.047 AC.  | 0.024 AC. |
| NET BUILDABLE ACREAGE (NBA)                                |            | 5.003 AC. |
| * BASED ON USGS TOPOGRAPHY                                 |            |           |
| ** BASED ON LOT AREA AFTER RECONFIGURATION OF FUTURA DRIVE |            |           |

#### FLOOR AREA

| WAREHOUSE NO.        | FLOOR | AREA PER FLOOR |
|----------------------|-------|----------------|
| 1                    | 1     | 2,400 SF       |
| 2                    | 1     | 9,600 SF       |
| 3                    | 2     | 12,400 SF      |
| 4                    | 1     | 7,600 SF       |
| 5                    | 1     | 12,000 SF      |
| 6                    | 2     | 12,000 SF      |
| 6                    | 1     | 9,600 SF       |
| 6                    | 1     | 9,600 SF       |
| TOTAL WAREHOUSE AREA |       | 83,200 SF      |
| OFFICE/SUPPLIES AREA |       | 2,800 SF       |
| TOTAL FLOOR AREA     |       | 86,000 SF      |

#### RECORDER OF DEEDS

RECORDED THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK \_\_\_, PAGE \_\_\_

#### FOR USE BY MCPC ONLY

MCPC NO. 21-0246-001

PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date \_\_\_\_\_

For the Director

Montgomery County Planning Commission



PROJECT VICINITY PLAN

SCALE: 1"=250'

#### APPROVED PLAN ALTERATIONS ACKNOWLEDGEMENT

APPLICANT ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT AND/OR D.E.P. (IF GREATER THAN ONE ACRE OF LAND DISTURBANCE) AND THAT A REVISED EROSION AND SEDIMENTATION CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

#### STORMWATER BMP LANDOWNER ACKNOWLEDGEMENT

THE APPLICANT IS THE OWNER/EQUITABLE OWNER OF THE LAND PROPOSED TO BE DEVELOPED. THE APPLICANT ACKNOWLEDGES THAT THE STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP.

APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

|  |                             |
|--|-----------------------------|
| CERTIFICATE OF OWNERSHIP   |                             |
| AMERICO P. MOSCARIELLO:  |                             |
| BY: _____  | SIGNATURE                   |
| AMERICO P. MOSCARIELLO, OWNER  |                             |
| NOTARY ACKNOWLEDGEMENT   |                             |
| COMMONWEALTH OF PENNSYLVANIA<br>COUNTY OF MONTGOMERY   |                             |
| ON THIS ___ DAY OF ___, 20___, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED AMERICO P. MOSCARIELLO, WHO BEING DULY SWORN ACCORDING TO LAW, ACKNOWLEDGED HIMSELF TO BE THE RECORD OWNER FOR THIS LAND DEVELOPMENT PLAN AND THAT HE DEPOSES AND SAYS THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND THAT HE DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW. |                             |
| IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.  |                             |
| NOTARY PUBLIC _____  | MY COMMISSION EXPIRES _____ |

#### LIMERICK TOWNSHIP ENGINEER REVIEW

REVIEWED THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, BY THE TOWNSHIP ENGINEER FOR THE TOWNSHIP OF LIMERICK.

TOWNSHIP ENGINEER \_\_\_\_\_

#### SURVEYORS CERTIFICATION

I, \_\_\_\_\_, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, THIS PLAT AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT. I DO HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE LIMERICK TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

SIGNATURE OF SURVEYOR \_\_\_\_\_

REGISTRATION NUMBER \_\_\_\_\_

#### LIMERICK TOWNSHIP PLANNING COMMISSION

THIS PLAN WAS APPROVED AS TO LAYOUT AND LOCATION BY THE PLANNING COMMISSION OF LIMERICK TOWNSHIP AT A MEETING HELD ON THE \_\_\_ DAY OF \_\_\_, 20\_\_\_.

CHAIRPERSON \_\_\_\_\_

| SHEET NO. | DRAWING NO. | SHEET DESCRIPTION                       |
|-----------|-------------|---|
| 1         | TS108152    | TITLE SHEET                             |
| 2         | GN108152    | GENERAL NOTES                           |
| 3         | FP108152    | LOT CONSOLIDATION PLAN                  |
| 4         | FP208152    | LOT CONSOLIDATION PLAN                  |
| 5         | LO108152    | LAYOUT PLAN                             |
| 6         | LO208152    | LAYOUT PLAN                             |
| 7         | EC108152    | EXISTING RESOURCE AND SITE ANALYSIS MAP |
| 8         | EC208152    | EXISTING RESOURCE AND SITE ANALYSIS MAP |
| 9         | GU108152    | GRADING & UTILITY PLAN                  |
| 10        | GU208152    | GRADING & UTILITY PLAN                  |
| 11        | LA108152    | LANDSCAPE PLAN                          |
| 12        | LI108152    | LIGHTING PLAN                           |
| 13        | DP108152    | DRAINAGE PROFILES                       |
| 14        | DP208152    | DRAINAGE PROFILES                       |
| 15        | CD108152    | CONSTRUCTION DETAILS                    |
| 16        | CD208152    | CONSTRUCTION DETAILS                    |
| 17        | CD308152    | CONSTRUCTION DETAILS                    |
| 18        | CD408152    | CONSTRUCTION DETAILS                    |
| 19        | TT108152    | TRUCK TURNING PLAN                      |

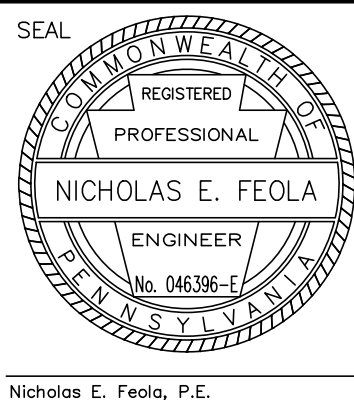
PLANS TO BE RECORDED

#### LIMERICK TOWNSHIP BOARD OF SUPERVISORS

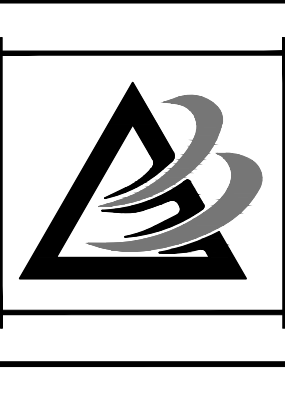
THIS PLAN WAS APPROVED AS TO LAYOUT AND LOCATION BY THE BOARD OF SUPERVISORS OF LIMERICK TOWNSHIP AT A MEETING HELD ON THE \_\_\_ DAY OF \_\_\_, 20\_\_\_.

CHAIRPERSON \_\_\_\_\_

TOWNSHIP SECRETARY \_\_\_\_\_



|          |              |
|----------|--------------|
| MANAGER  | KRK _____    |
| DESIGN   | KRK _____    |
| CHKD. BY | _____        |
| DRAFT    | STA _____    |
| CHKD. BY | _____        |
| FILE     | MOS-02 _____ |
| DATE     | 8/27/21      |
| NOTES    | SCALE _____  |



**BURSICH ASSOCIATES**  
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS  
2129 EAST HIGH STREET  
POTTSTOWN, PA 19464  
610.323.4040

www.bursich.com



Stop - Call Before You Dig!  
Pennsylvania Act 287 of 1974 as amended by Act 50 of 2017 73P.S. §176 et. seq. requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776

CLIENT

AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT

TITLE SHEET  
RECORD PLAN 1 OF 6

**MOSCARIELLO AT  
FUTURA DRIVE**

LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208152.00

SHEET NO.

1 OF 19

DWG. NO.

TS108152



1. THE BOUNDARY INFORMATION COMPILED FROM ACTUAL FIELD SURVEY BY BURSHCH ASSOCIATES, INC. PERFORMED IN DECEMBER 2020. PROPERTY MONUMENTATION WAS SET.
2. TOPOGRAPHIC INFORMATION COMPILED FROM FIELD SURVEY BY BURSHCH ASSOCIATES, INC., PERFORMED IN DECEMBER 2020, AND AUGMENTED BY LIDAR TOPOGRAPHY FOR OFF-SITE TOPOGRAPHY AND AVAILABLE ON-LINE AERIAL MAPPING SOURCES.
3. HORIZONTAL DATUM BASE NAD 83, PA SPC SOUTH. VERTICAL DATUM BASE NAVD 88.
4. SOURCE OF TITLE: BEING THE SAME PREMISES WHICH AHV PROPERTIES BY DEED DATED AUGUST 25, 2020 AND RECORDED IN MONTGOMERY COUNTY COURTHOUSE IN DEED BOOK 6191, PAGE 061, CONVEYED INTO AMERICO F. MOSCARIELLO.
6. THE BOUNDARY SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT.
7. REFERENCE PLAN: PLAN FOR RIDGE PIKE TRACT, PREPARED FOR AHV PROPERTIES BY BURSHCH ASSOCIATES, INC., DRAWING NUMBER L0132608, DATED FEBRUARY 10, 1994 AND LAST REVISED JANUARY 12, 1996.
8. THE PENNSYLVANIA ONE CALL PER ACT 172 SERIAL NUMBER IS 2020-337-1811, DATED DECEMBER 2, 2020.
9. THIS PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON FEMA FIRM MAP NO.s 42091C0202G AND NO. 42091C0210G, EFFECTIVE DATES MARCH 2, 2016.
10. A SEARCH WAS CONDUCTED ON FEBRUARY 15, 2021 REGARDING THE PRESENCE OF THREATENED AND ENDANGERED SPECIES AND/OR SPECIAL CONCERN SPECIES AND RESOURCES WITHIN THE SUBJECT TRACT FROM THE NATURAL RESOURCES PENNSYLVANIA NATURAL HERITAGE PROGRAM (PNHP). THE RECEIPT FOR THE PROJECT SEARCH PND0 - PNHP RESPONDED "NO KNOWN IMPACTS" WERE ENCOUNTERED AN NO FURTHER REVIEW REQUIRED.
11. SOILS INFORMATION SHOWN FROM INFORMATION CONTAINED ON THE USDA-NRCS WEB SOIL SURVEY.
12. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
13. THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BURSHCH ASSOCIATES, INC. WAS CONTRACTED TO PERFORM. EXCEPT ANY RECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BURSHCH.
14. IT IS NOT THE INTENT OF THIS PLAN TO ILLUSTRATE ANY SUBSURFACE CONDITIONS SHOULD THEY EXIST, I.E. BURIED TANKS, SEEPAGE BEDS, TILE FIELDS, ETC.
15. IMPROVEMENT CONSTRUCTION REQUIREMENTS WILL BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS CONSISTENT WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE MONTGOMERY COUNTY CONSERVATION DISTRICT, OR OTHER APPROPRIATE AGENCIES, OR THE SPECIFICATIONS INCLUDED WITHIN THE LIMERICK TOWNSHIP "SUBDIVISION AND LAND DEVELOPMENT ORDINANCE" CHAPTER 151-31 C(2). CONFLICTS SHALL RESULT IN THE MORE STRINGENT REQUIREMENTS BEING APPLIED TO THE APPLICANT.
16. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
17. PROJECT TO BE SERVED BY AN ON-LOT SEWAGE HOLDING TANK AND WATER WELL.
18. THE STORMWATER FACILITIES INCLUDING THE DETENTION BASIN, INFILTRATION BASINS AND APPURTENANCES, SWALES, ETC. SHALL BE OPERATED AND MAINTAINED IN GOOD WORKING CONDITION BY THE PROPERTY OWNER. LIMERICK TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME, IF THE FACILITIES ARE NOT BEING PROPERLY MAINTAINED, OR HAVE BEEN DAMAGED OR ALTERED, THE TOWNSHIP CAN REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION OR MAINTENANCE. THE TOWNSHIP MAY LIEN ALL COSTS OF ANY NECESSARY REMEDIAL OR MAINTENANCE WORK AGAINST THE PROPERTY OF THE ENTITY RESPONSIBLE FOR THE MAINTENANCE.
19. A BLANKET EASEMENT IS OFFERED TO LIMERICK TOWNSHIP FOR ACCESS TO ALL STORMWATER BEST MANAGEMENT PRACTICE FACILITIES.
20. ALL PROPOSED FACILITIES SHALL COMPLY WITH "THE AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" AND "THE PENNSYLVANIA UNIVERSAL ACCESSIBILITY ACT".
21. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
22. THE PERMANENT REMOVAL OF MORE THAN 50% OF THE EXISTING TOPSOIL IS PROHIBITED WITHOUT OBTAINING A CONDITIONAL PERMIT FROM THE TOWNSHIP ENGINEER IN ACCORDANCE WITH CHAPTER 151 STORMWATER MANAGEMENT, SECTION 151-51.1(C)(3).
23. DURING GRADING OPERATIONS NECESSARY MEASURES FOR DUST CONTROL WILL BE IMPLEMENTED.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
25. HANDICAP ACCESSIBILITY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST CURRENT VERSION OF PENNDOT PUBLICATION 72M, RC 67 SERIES.
26. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
27. FOR RETAINING WALLS GREATER THEN 30 INCHES IN HEIGHT OR HAVE A SURCHARGE, CONSTRUCTION DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN PENNSYLVANIA SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION OF THE WALLS.
28. NO TRASH DUMPSTERS ARE PROPOSED FOR THIS SITE DEVELOPMENT FOR USE BY THE PUBLIC. ANY FUTURE REFUSE COLLECTION FACILITIES SHALL OBTAIN APPROVAL FROM THE TOWNSHIP AND COMPLY WITH THE REQUIREMENTS IN ZONING ORDINANCE SECTION 184--66 FOR ZONING AND THE LANDSCAPING REQUIREMENTS IN THE SUBDIVISION AND LAND DEVELOPMENT CODE, CHAPTER 155.
29. THIS PROJECT FALLS BELOW THE VERTICAL ZONE (ELEVATION 354) OF THE POTTSWOM--LIMERICK AIRPORT.
30. THE TOWNSHIP ENGINEER OR DESIGNATED PERSON SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OPERATION, IN ORDER THAT PROVISION MAY BE MADE FOR THE INSPECTION BY THE TOWNSHIP.
31. THE PROPOSED STORMWATER BEST MANAGEMENT PRACTICES SHALL BE PRIVATELY OWNED AND MAINTAINED AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER IN ACCORDANCE WITH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE 151-31.C(2).
32. ANY DRAIN OR CONVEYANCE, WHETHER ON THE SURFACE OR SUBSURFACE, WHICH ALLWS ANY NON-STORMWATER DISCHARGE, INCLUDING SEWAGE, PROCESS WASTEWATER, AND WASH WATER TO ENTER A SEPARATE STORM SEWER SYSTEM AND ANY CONNECTIONS TO THE MUNICIPAL STORM DRAIN SYSTEM FROM INDOOR DRAINS AND SINKS IS PROHIBITED.
33. LIMERICK TOWNSHIP IS GRANTED A BLANKET EASEMENT FOR ACCESS WITHIN THE SITE FOR EMERGENCY PURPOSES.
34. CONSTRUCTION OF THE PROPOSED DOMESTIC WATER WELL AND CONNECTION TO THE BUILDING SHALL ADHERE TO LOCAL AND STATE CODES.
35. THE PROPOSED METHOD OF WASTEWATER TREATMENT AND DISPOSAL IS AN ON-SITE HOLDING TANK AND PUMPING AND HAULING BY A LICENSED HAULER FOR DISPOSAL AT A DEP APPROVED FACILITY.

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13. THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BURSHCH ASSOCIATES, INC. WAS CONTRACTED TO PERFORM. EXCEPT ANY RECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BURSHCH.
14. IT IS NOT THE INTENT OF THIS PLAN TO ILLUSTRATE ANY SUBSURFACE CONDITIONS SHOULD THEY EXIST, I.E. BURIED TANKS, SEEPAGE BEDS, TILE FIELDS, ETC.
15. IMPROVEMENT CONSTRUCTION REQUIREMENTS WILL BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS CONSISTENT WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE MONTGOMERY COUNTY CONSERVATION DISTRICT, OR OTHER APPROPRIATE AGENCIES, OR THE SPECIFICATIONS INCLUDED WITHIN THE LIMERICK TOWNSHIP "SUBDIVISION AND LAND DEVELOPMENT ORDINANCE" CHAPTER 151-31 C(2). CONFLICTS SHALL RESULT IN THE MORE STRINGENT REQUIREMENTS BEING APPLIED TO THE APPLICANT.
16. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
17. PROJECT TO BE SERVED BY AN ON-LOT SEWAGE HOLDING TANK AND WATER WELL.
18. THE STORMWATER FACILITIES INCLUDING THE DETENTION BASIN, INFILTRATION BASINS AND APPURTENANCES, SWALES, ETC. SHALL BE OPERATED AND MAINTAINED IN GOOD WORKING CONDITION BY THE PROPERTY OWNER. LIMERICK TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME, IF THE FACILITIES ARE NOT BEING PROPERLY MAINTAINED, OR HAVE BEEN DAMAGED OR ALTERED. THE TOWNSHIP CAN REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION OR MAINTENANCE. THE TOWNSHIP MAY LIEN ALL COSTS OF ANY NECESSARY REMEDIAL OR MAINTENANCE WORK AGAINST THE PROPERTY OF THE ENTITY RESPONSIBLE FOR THE MAINTENANCE.
19. A BLANKET EASEMENT IS OFFERED TO LIMERICK TOWNSHIP FOR ACCESS TO ALL STORMWATER BEST MANAGEMENT PRACTICE FACILITIES.
20. ALL PROPOSED FACILITIES SHALL COMPLY WITH "THE AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" AND "THE PENNSYLVANIA UNIVERSAL ACCESSIBILITY ACT".
21. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
22. THE PERMANENT REMOVAL OF MORE THAN 50% OF THE EXISTING TOPSOIL IS PROHIBITED WITHOUT OBTAINING A CONDITIONAL PERMIT FROM THE TOWNSHIP ENGINEER IN ACCORDANCE WITH CHAPTER 151 STORMWATER MANAGEMENT, SECTION 151-51 C.1(3).
23. DURING GRADING OPERATIONS NECESSARY MEASURES FOR DUST CONTROL WILL BE IMPLEMENTED.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
25. HANDICAP ACCESSIBILITY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST CURRENT VERSION OF PENNDOT PUBLICATION 72M, RC 67 SERIES.
26. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
27. FOR RETAINING WALLS GREATER THAN 30 INCHES IN HEIGHT OR HAVE A SURCHARGE, CONSTRUCTION DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN PENNSYLVANIA SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION OF THE WALLS.
28. NO TRASH DUMPSTERS ARE PROPOSED FOR THIS SITE DEVELOPMENT FOR USE BY THE PUBLIC. ANY FUTURE REFUSE COLLECTION FACILITIES SHALL OBTAIN APPROVAL FROM THE TOWNSHIP AND COMPLY WITH THE REQUIREMENTS IN ZONING ORDINANCE SECTION 184-66 FOR ZONING AND THE LANDSCAPING REQUIREMENTS IN THE SUBDIVISION AND LAND DEVELOPMENT CODE, CHAPTER 155.
29. THIS PROJECT FALLS BELOW THE VERTICAL ZONE (ELEVATION 354) OF THE POTTSWOM- LIMERICK AIRPORT.
30. THE TOWNSHIP ENGINEER OR DESIGNATED PERSON SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OPERATION, IN ORDER THAT PROVISION MAY BE MADE FOR THE INSPECTION BY THE TOWNSHIP.
31. THE PROPOSED STORMWATER BEST MANAGEMENT PRACTICES SHALL BE PRIVATELY OWNED AND MAINTAINED AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER IN ACCORDANCE WITH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE 151-31 C.(2).
32. ANY DRAIN OR CONVEYANCE, WHETHER ON THE SURFACE OR SUBSURFACE, WHICH ALLSOW ANY NON-STORMWATER DISCHARGE, INCLUDING SEWAGE, PROCESS WASTEWATER, AND WASH WATER TO ENTER A SEPARATE STORM SEWER SYSTEM AND ANY CONNECTIONS TO THE MUNICIPAL STORM DRAIN SYSTEM FROM INDOOR DRAINS AND SINKS IS PROHIBITED.
33. LIMERICK TOWNSHIP IS GRANTED A BLANKET EASEMENT FOR ACCESS WITHIN THE SITE FOR EMERGENCY PURPOSES.
34. CONSTRUCTION OF THE PROPOSED DOMESTIC WATER WELL AND CONNECTION TO THE BUILDING SHALL ADHERE TO LOCAL AND STATE CODES.
35. THE PROPOSED METHOD OF WASTEWATER TREATMENT AND DISPOSAL IS AN ON-SITE HOLDING TANK AND PUMPING AND HAULING BY A LICENSED HAULER FOR DISPOSAL AT A DEP APPROVED FACILITY.

- WAIVERS:

THE FOLLOWING DEFERRALS & WAIVERS FROM THE LIMERICK TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES WERE GRANTED BY THE BOARD OF SUPERVISORS ON NOVEMBER 16, 2022:

- A. SECTION 155-15D. (c) – A PARTIAL DEFERRAL FROM INSTALLING SIDEWALKS ALONG FUTURA DRIVE SINCE IT IS A DEAD-END STREET WITH NO PEDESTRIAN TRAFFIC. THE LANDOWNER WILL INSTALL SIDEWALKS AT THE SOLE EXPENSE OF THE LANDOWNER WITHIN ONE (1) YEAR AFTER RECEIVING NOTICE FROM LIMERICK TOWNSHIP TO INSTALL SIDEWALKS.
- B. SECTION 151-26A.8(B)(c) – A WAIVER TO ALLOW INTERIOR SLOPES OF THE DETENTION BASIN TO BE FLATTER THAN FOUR PERCENT. THE PROPOSED PRIVATE BASIN ALLOWING A FLATTER SURFACE AT THE BOTTOM OF THE BASIN PER COUNTY NPDES REQUIREMENTS.
- C. SECTION 151-26A.2(V)(c) – A WAIVER TO ALLOW THE TERMINAL RUNS OF THE DRAINAGE SYSTEM TO HAVE A SLOPEY UNDER 3 FPS DUE TO THE SMALL AMOUNT OF RUNOFF ENTERING THOSE INLETS.
- D. SECTION 155-33C.1 (c) – A WAIVER FROM THE REQUIREMENT TO SHOW TOPOGRAPHY AND EXISTING FEATURES WITHIN 400-FEET OF THE PROPERTY LINE. BETWEEN THE EXISTING CONDITIONS PLAN AND THE AERIAL DEPICTED ON THE TITLE SHEET, THE EXISTING FEATURES OF SURROUNDING PROPERTIES ARE DOCUMENTED.
- E. SECTION 155-34.C(3)(B) THRU (C) – A WAIVER FROM SHOWING THE SIGNATURE OF THE DEVELOPER, TOWNSHIP SUPERVISORS, ENGINEER, AND THE PLANNING COMMISSION ON THE LANDSCAPE PLAN, SINCE THE LANDSCAPE PLAN IS NOT A SHEET THAT IS PART OF THE SUBMITTAL IN AN ENVIRONMENTAL REVIEW PROCESS WITH LIMERICK TOWNSHIP.

1. THE DESIGN AND CONSTRUCTION OF ALL BUILDING SYSTEMS THAT MAY AFFECT EMERGENCY SERVICES SHALL BE COORDINATED WITH THE TOWNSHIP FIRE MARSHAL'S OFFICE (i.e. FIRE DEPARTMENT CONNECTIONS, FENCING OR OTHER BARRIERS, INTERNAL EVAC PLANS).
2. THE PROPERTY AND ALL LOTS SHALL ALWAYS BE MARKED AND READILY IDENTIFIABLE FOR PUBLIC SAFETY AND INSPECTION PURPOSES.
3. THE MARKETING NAME OF ANY DEVELOPMENT SHALL BE SUBMITTED AND APPROVED BY THE FIRE MARSHAL'S OFFICE.
4. BURNING OF REFUSE AND CONSTRUCTION DEBRIS IS PROHIBITED.
5. PLEASE FURNISH THE NAME AND CONTACT INFORMATION OF THE OWNER'S REPRESENTATIVE WHO WILL NAME THE ROLE OF FIRE PREVENTION PROGRAM SUPERINTENDENT; SUBSEQUENTLY, PLEASE CONTACT THE OFFICE SO WE CAN MEET WITH THEM AND REVIEW THEIR EMERGENCY PLAN.
6. IF THERE ARE ANY CHAINS/GATES UTILIZED FOR SECURITY OF OTHER PURPOSES, DURING CONSTRUCTION, THEY SHALL BE SECURED IN AN APPROVED FASHION AND SHALL BE APPROVED BY THE TOWNSHIP FIRE MARSHAL'S OFFICE.
7. IF SMOKING IS PERMITTED ON THE GROUND, DESIGNATED SMOKING AREAS SHALL BE ESTABLISHED AND POSTED.
8. A MEANS OF CONTACTING 9-1-1, IN THE EVENT OF AN EMERGENCY, SHALL BE PROVIDED AND MAINTAINED.
9. ALL PROCEDURES FOR FIRE PROTECTION DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 33 (FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION).
10. SUBMIT A COMPLETED EMERGENCY CONTACT INFORMATION FORM.
11. ALERTING, NOTIFICATION, AND SUPPRESSION PERMITS SHALL BE SUBMITTED, AS APPLICABLE, IN ADDITION TO ANY REQUIREMENTS ESTABLISHED BY THE CODE SERVICES DEPARTMENT.
12. WHERE REQUIRED A KNOX BOX SHALL BE INSTALLED. THE LOCATION TO BE DETERMINED BY THE FIRE MARSHAL'S OFFICE.
13. ANY EXTERIOR SECURITY GATES AND/OR EMERGENCY ACCESS GATES OR CHAINS THAT ARE PART OF THE FINISHED PROJECT SHALL BE FITTED WITH A KNOX BOX PAD LOCK.
14. IF THERE WILL BE AN EMERGENCY ACCESS ROAD OR A TRAIL THAT DOUBLES AS AN EMERGENCY ACCESS ROAD THAT IS PART OF THE FINISHED PROJECT, THERE SHALL BE BOLLARDS INSTALLED AT EACH END OF THE ACCESS ROAD. THESE BOLLARDS SHALL MEET LUMIRCO TOWNSHIP'S SPECIFICATIONS, WHICH CAN BE FOUND ON THE TOWNSHIP'S WEBSITE, OR A COPY CAN BE PROVIDED TO YOU FROM THE TOWNSHIP.

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS IN THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND UNSUITABLE MATERIAL AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D-1557-15. ALL EXISTING AND FILLED AREAS AND SUBGRADE MATERIAL SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS BEING DONE. VERTICAL CURBS, SIDEWALKS, AND FILLED AREAS AND SUBGRADE AREAS WITHIN ANY BUILDING PAD AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR PAVING SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBGRADE SHALL BE REMOVED AND FILLED WITH MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
3. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE BOTTOM FACE OF CURB OR TOP OF FINISHED PAVING UNLESS OTHERWISE NOTED.
4. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2 PERCENT AND THE FINISHED PAVING SHALL BE AT LEAST 1 PERCENT. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE (2% MIN.) IN ALL PROPOSED GRASS AREAS AWAY FROM ALL STRUCTURES.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING UNITS. SLOPES AND SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE SHALL BE IN ACCORDANCE WITH BUILDING CODE OR A MINIMUM SLOPE OF 2%, AND MINIMUM SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE OF 8-INCHES, WHICHEVER CONTROLS.
6. THE CONTRACTOR SHALL COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST STANDARDS OF OSHA OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PRACTICES. IN ADDITION TO THE REQUIREMENTS OF OSHA, THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFORMANCE WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT THE EXISTING USERS OF THESE UTILITIES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFORMANCE WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT THE EXISTING USERS OF THESE UTILITIES.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DOCUMENTS FOR ACTUAL LOCATIONS OF ALL CONNECTION LOCATIONS TO INCLUDE SANITARY SEWER LATERALS, WATER MAINS, ELECTRICITY, TELEPHONE, GAS, AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
9. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.
10. ALL UTILITIES SHALL BE PLACED UNDERGROUND. CONSTRUCTION OF UTILITIES SHALL BE TO THE PROPER STANDARDS OF THE APPLICABLE UTILITY AUTHORITY.
11. ALL SANITARY SEWER FACILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.E.P. STANDARD SPECIFICATIONS AND DETAILS.
12. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.E.P. REQUIREMENTS, STANDARD SPECIFICATIONS AND DETAILS.
13. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF TEN FEET BETWEEN SANITARY SEWER SERVICES AND WATER SERVICES. PROVIDE A MINIMUM FIVE FOOT HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER SERVICES AND ALL OTHER UTILITIES.

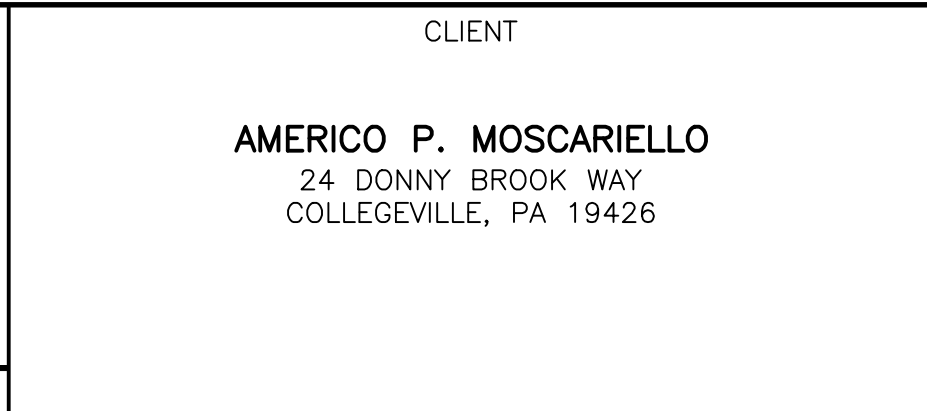
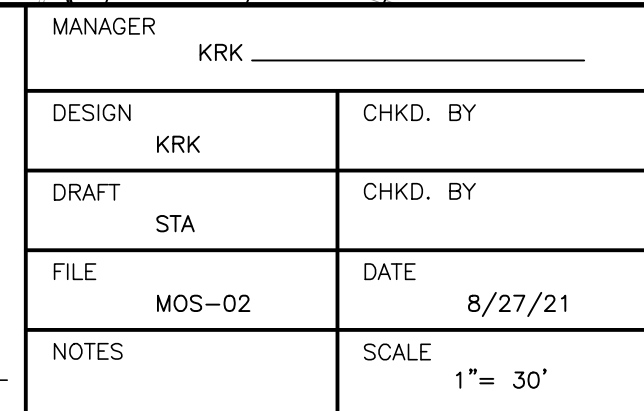
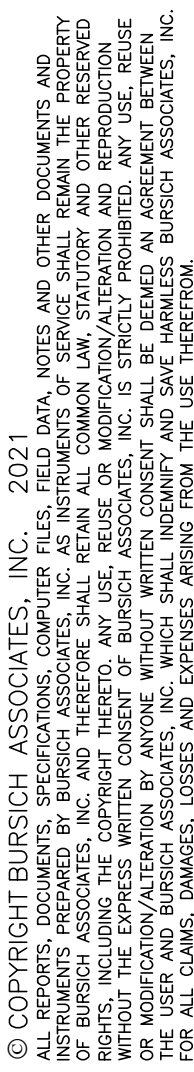
1. STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND PENNDOT STANDARDS AND REGULATIONS AS APPLICABLE.
2. WHEN REINFORCED CONCRETE STORM PIPE (RCP) IS SPECIFIED ON THE PLANS, IT SHALL HAVE RUBBER LINED JOINTS AND GASKETS, AND COMPLY WITH ASTM C76 STANDARDS FOR CLASS III WALL B PIPE UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
3. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED, IT SHALL BE SMOOTH LINED CORRUGATED PIPE AND CONFORM TO AASHTO M234 AND TYPE S, WITH GASKET FOR SOIL TIGHT JOINT UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. STORM SEWER INLETS, MANHOLES, HEADWALLS AND ENDWALLS SHALL BE IN ACCORDANCE WITH PENNDOT'S ROADWAY STANDARD CONSTRUCTION DRAWINGS RC-72M, LATEST REVISION AND PUBLICATION 408 SPECIFICATIONS, LATEST REVISION.
5. ALL INLETS SHALL BE FURNISHED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES.
6. STORM SEWER MANHOLES SHALL BE FABRICATED OF REINFORCED CONCRETE EXCEPT WHERE OTHERWISE NOTED. ALL STRUCTURES SHALL BE DESIGNED FOR HS-25 HIGHWAY LOADING.
7. STORM INLETS WHEN SPECIFIED WITH WATER QUALITY INSERTS SHALL BE PROVIDED WITH THE REQUIRED SUMP DEPTH TO INSTALL THE SNOUT OR APPROVED EQUAL HOOD IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
8. PIPE LENGTHS SHOWN ARE COMPUTED FROM THE CENTER OF STRUCTURE TO THE CENTER OF STRUCTURE.
9. GRATE ELEVATIONS FOR INLETS ALONG CURBS ARE COMPUTED TO THE CENTER OF THE INLET AT GUTTERLINE.
10. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIMENSIONS.
11. ALL STORM CONNECTIONS TO EXISTING PIPE TO BE REPLACED SHALL BE RECONNECTED TO THE NEW PIPE WITH A SADDLE TEE OR FITTING.
12. EXISTING INLETS AND STORM SEWERS INDICATED AS FILLED WITH DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND STORM PIPES SHALL BE CHECKED FOR SILT AND DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.

1. NO STEEP SLOPES OF GREATER THAN 15% ARE PRESENT ON SITE PER USGS 7.5-MINUTE PHOENIXVILLE 2019 QUADRANGLE MAP, NGA REF NO.: USGSX24K34992 AS DEFINED IN LIMERICK TOWNSHIP ZONING ORDINANCE SECTION 184-81.I.

[illegible]



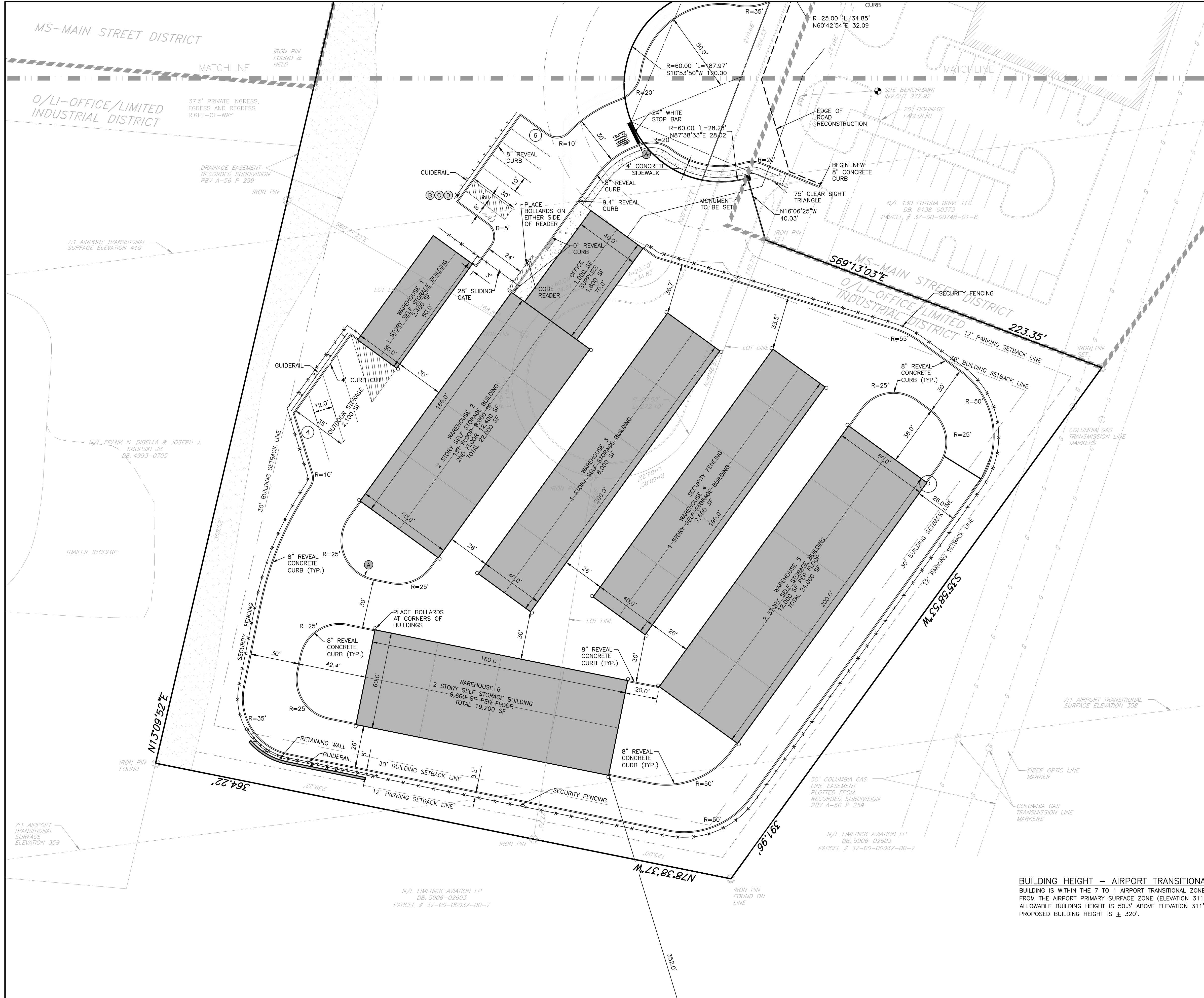




|  |         |                             |
|--|---------|-----------------------------|
| LOT CONSOLIDATION PLAN<br>RECORD PLAN 4 OF 6<br><br><b>MOSCARIELLO AT<br/>FUTURA DRIVE</b><br><br>LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA | SUBJECT | JOB NO.<br><b>208152.00</b> |
|  |         | SHEET NO.<br><b>4 OF 19</b> |
|  |         | DWG. NO.<br><b>FP208152</b> |



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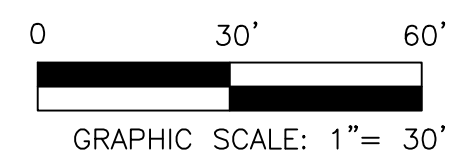


- EXISTING FEATURES LEGEND**
- SLANTED TEXT DENOTES EXISTING FEATURE
- IRON PIN FOUND
- SITE BENCHMARK
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- EASEMENT LINE
- BUILDING/STRUCTURE
- CONCRETE CURB
- EDGE OF PAVE
- ZONING LINE

- PROPOSED LEGEND**
- VERTICAL TEXT DENOTES PROPOSED FEATURE
- BUILDING
- DEPRESSED CURB
- CURB
- FENCE
- ADA DETECTABLE WARNING STRIP
- SIGN

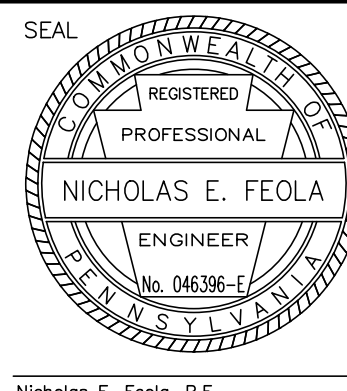
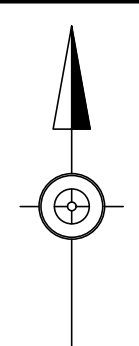
| SIGN LEGEND |                   |        |         |
|-------------|-------------------|--------|---------|
| PLAN LABEL  | DESCRIPTION       | SERIES | SIZE    |
| (A)         | STOP              | R1-1   | 30"x30" |
| (B)         | ADA PARKING SIGNS | R7-8   | 12"x18" |
| (C)         | PENALTY SIGN      | R7-8F  | 12"x18" |
| (D)         | VAN ACCESSIBLE    | R7-8P  | 12"x6"  |

**NOTES:**  
1. SIGNS SHALL BE IN ACCORDANCE WITH THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUBLICATION 236, LATEST EDITION.  
2. ALL SIGNS TO BE MOUNTED ON A PENNDOT TYPE B BREAKAWAY POST.



**BUILDING HEIGHT - AIRPORT TRANSITIONAL ZONE NOTE**  
BUILDING IS WITHIN THE 7 TO 1 AIRPORT TRANSITIONAL ZONE. AT 352' DISTANCE FROM THE AIRPORT PRIMARY SURFACE ZONE (ELEVATION 311') THE MAXIMUM ALLOWABLE BUILDING HEIGHT IS 50.3' ABOVE ELEVATION 311' OR 361.3'. PROPOSED BUILDING HEIGHT IS ± 320'.

| NO. | REVISION                                  | DATE    | BY  |
|-----|---|---------|-----|
| 1   | REVISED PER TOWNSHIP & CONSULTANT REVIEWS | 2/16/23 | DPC |



|         |               |
|---------|---------------|
| MANAGER | KRK           |
| DESIGN  | KRK           |
| DRAFT   | STA           |
| FILE    | MOS-02        |
| NOTES   | SCALE 1"= 30' |

**BURSICH ASSOCIATES**  
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS  
2129 EAST HIGH STREET  
POTTSTOWN, PA 19464  
610.323.4040  
www.bursich.com

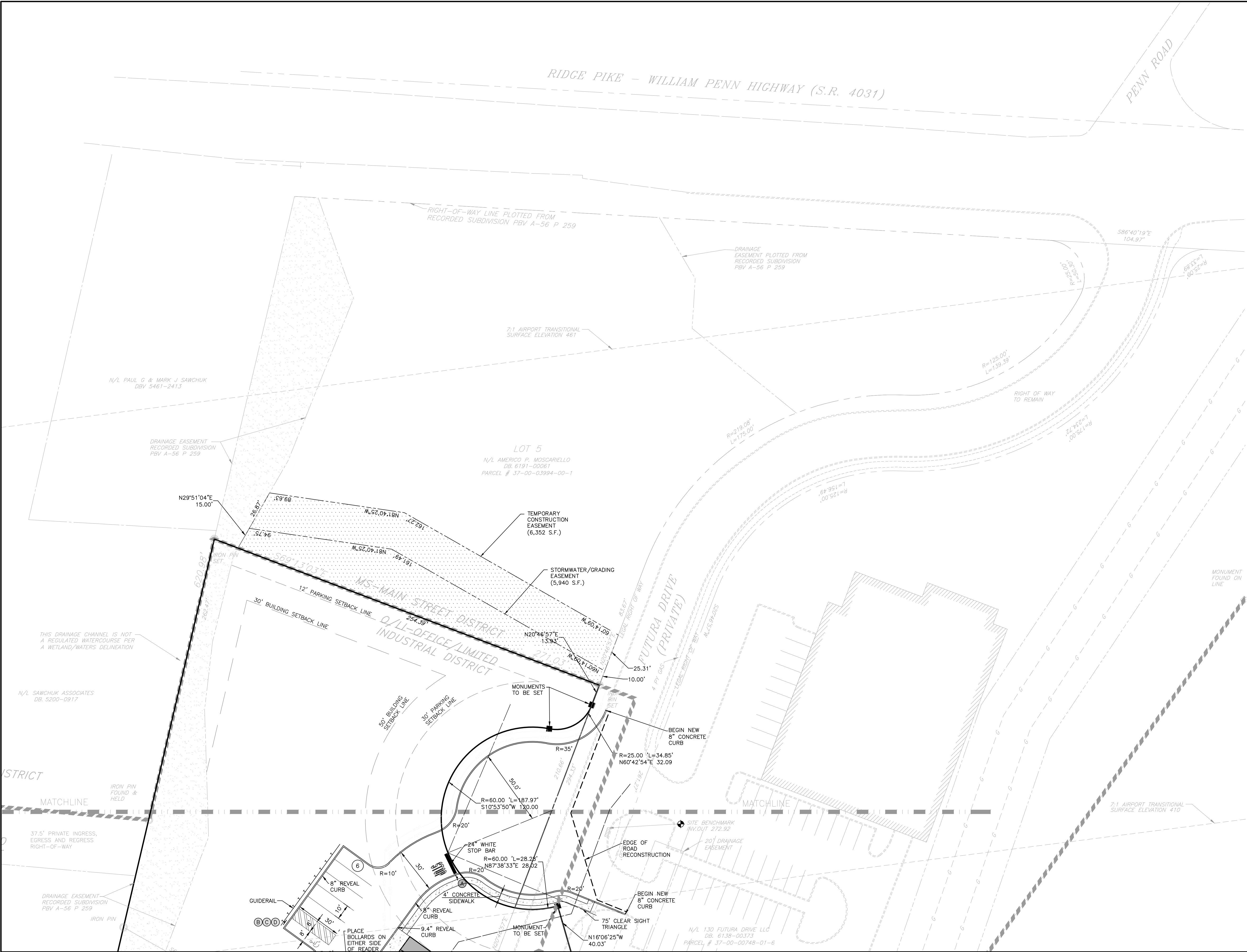
CLIENT  
**AMERICO P. MOSCARIELLO**  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
**LAYOUT PLAN**  
RECORD PLAN 5 OF 6  
**MOSCARIELLO AT FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
**208152.00**  
SHEET NO.  
**5 OF 19**  
DWG. NO.  
**L0108152**



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EXISTING FEATURES LEGEND

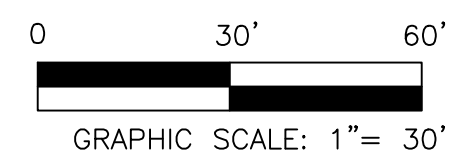
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- SITE BENCHMARK
- PROPERTY LINE
- ADJOINER LINE
- LEGAL RIGHT OF WAY
- EASEMENT LINE
- BUILDING/STRUCTURE
- CONCRETE CURB
- EDGE OF PAVE
- ZONING LINE

PROPOSED LEGEND

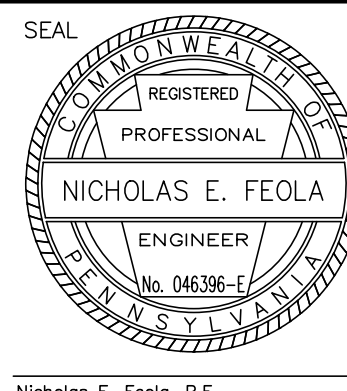
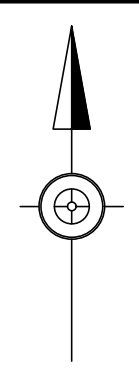
- VERTICAL TEXT DENOTES PROPOSED FEATURE
- BUILDING
- DEPRESSED CURB
- CURB
- FENCE
- ADA DETECTABLE WARNING STRIP
- SIGN

| SIGN LEGEND |                   |        |         |
|-------------|-------------------|--------|---------|
| PLAN LABEL  | DESCRIPTION       | SERIES | SIZE    |
| (A)         | STOP              | R1-1   | 30"x30" |
| (B)         | ADA PARKING SIGNS | R7-B   | 12"x18" |
| (C)         | PENALTY SIGN      | R7-8F  | 12"x18" |
| (D)         | VAN ACCESSIBLE    | R7-8P  | 12"x6"  |

- NOTES:
- SIGNS SHALL BE IN ACCORDANCE WITH THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUBLICATION 236, LATEST EDITION.
  - ALL SIGNS TO BE MOUNTED ON A PENNDOT TYPE B BREAKAWAY POST.



| NO. | REVISION                                  | DATE    | BY  |
|-----|---|---------|-----|
| 1   | REVISED PER TOWNSHIP & CONSULTANT REVIEWS | 2/16/23 | DPC |



|         |               |
|---------|---------------|
| MANAGER | KRK           |
| DESIGN  | KRK           |
| DRAFT   | STA           |
| FILE    | MOS-02        |
| NOTES   | SCALE 1"= 30' |

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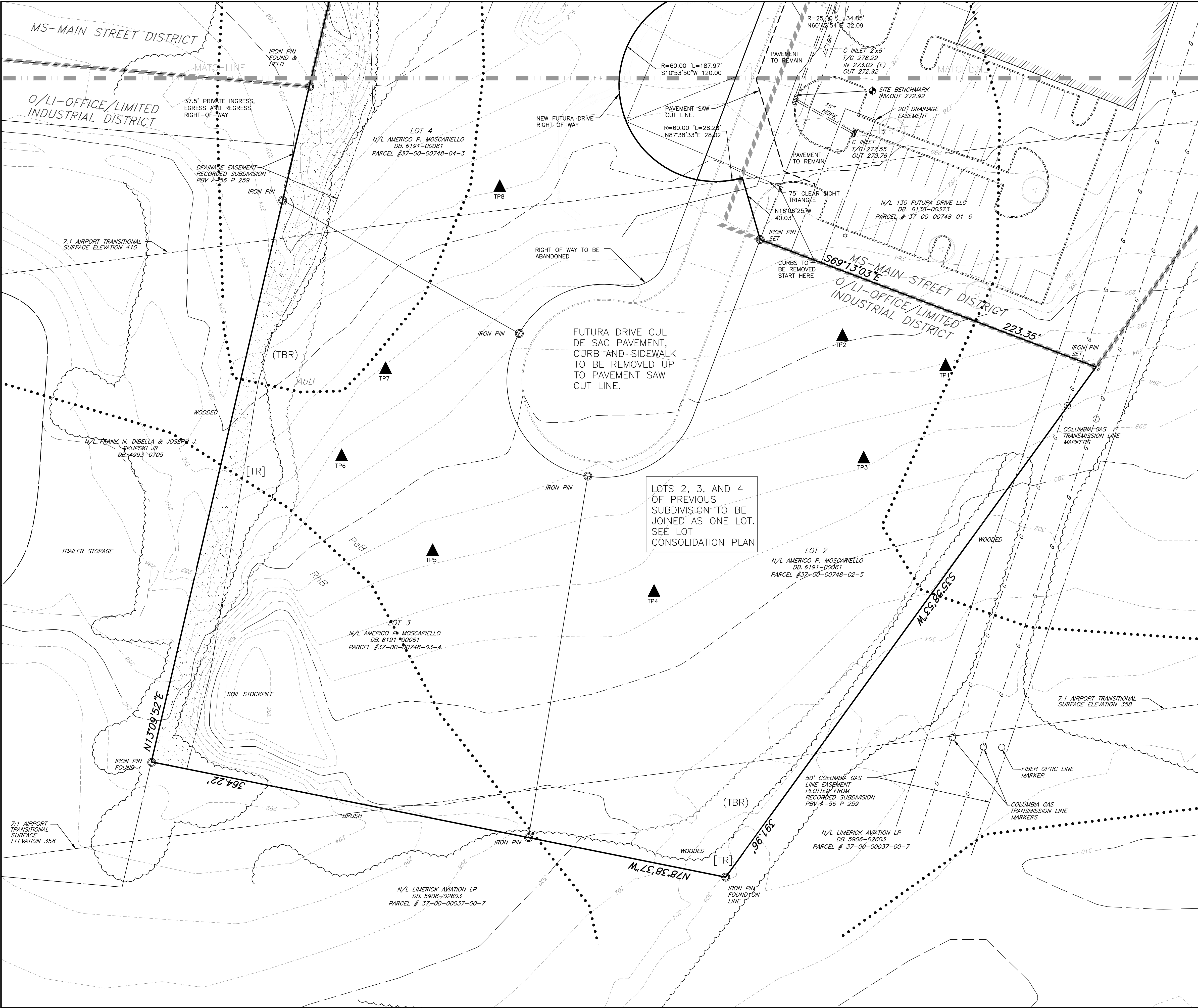
|        |  |
|--------|--|
| CLIENT | AMERICO P. MOSCARIELLO<br>24 DONNY BROOK WAY<br>COLLEGEVILLE, PA 19426 |
|--------|--|

|         |   |
|---------|---|
| SUBJECT | LAYOUT PLAN<br>RECORD PLAN 6 OF 6<br><b>MOSCARIELLO AT FUTURA DRIVE</b><br>LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA |
|---------|---|

|           |           |
|-----------|-----------|
| JOB NO.   | 208152.00 |
| SHEET NO. | 6 OF 19   |
| DWG. NO.  | L0208152  |



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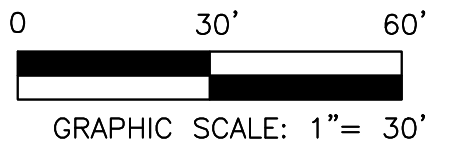


| SOILS           |   |  |
|-----------------|---|--|
| MAP UNIT SYMBOL | MAP UNIT NAME   |  |
| AbB             | ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES          |  |
| KLB             | KLINESVILLE CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES |  |
| PEB             | PENN SILT LOAM, 3 TO 8 PERCENT SLOPES                 |  |
| REA             | READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES           |  |
| RHB             | REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES             |  |

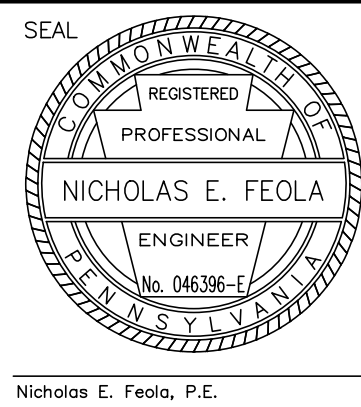
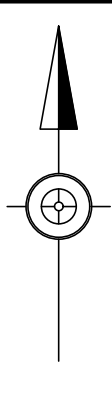
EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

|                                |       |
|--------------------------------|-------|
| IRON PIN FOUND                 |       |
| SITE BENCHMARK                 |       |
| PROPERTY LINE                  |       |
| ADJOINER LINE                  |       |
| LEGAL RIGHT OF WAY             |       |
| EASEMENT LINE                  |       |
| BUILDING/STRUCTURE             |       |
| CONCRETE CURB                  |       |
| EDGE OF PAVE                   |       |
| FENCE LINE                     |       |
| CONTOURS                       |       |
| SPOT ELEVATION                 |       |
| WOOD LINE                      |       |
| TREES                          |       |
| SANITARY SEWER MANHOLE         |       |
| STORM SEWER                    |       |
| M&C TYPE INLETS                |       |
| WATER MAIN                     |       |
| FIRE HYDRANT                   |       |
| WATER VALVE                    |       |
| WATER MANHOLE                  |       |
| GAS MAIN                       |       |
| GAS VALVE                      |       |
| COMMUNICATIONS WIRES           |       |
| UNDERGROUND WIRES              |       |
| UTILITY POLE                   |       |
| SIGN                           |       |
| SOILS                          |       |
| ZONING LINE                    |       |
| PROPOSED TREE PROTECTION FENCE |       |
| TO BE REMOVED                  | (TBR) |
| TO REMAIN                      | [TR]  |



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|          |               |
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| MANAGER  | KRK           |
| DESIGN   | KRK           |
| CHKD. BY |               |
| DRAFT    | STA           |
| CHKD. BY |               |
| FILE     | MOS-02        |
| DATE     | 8/27/21       |
| NOTES    | SCALE 1"= 30' |

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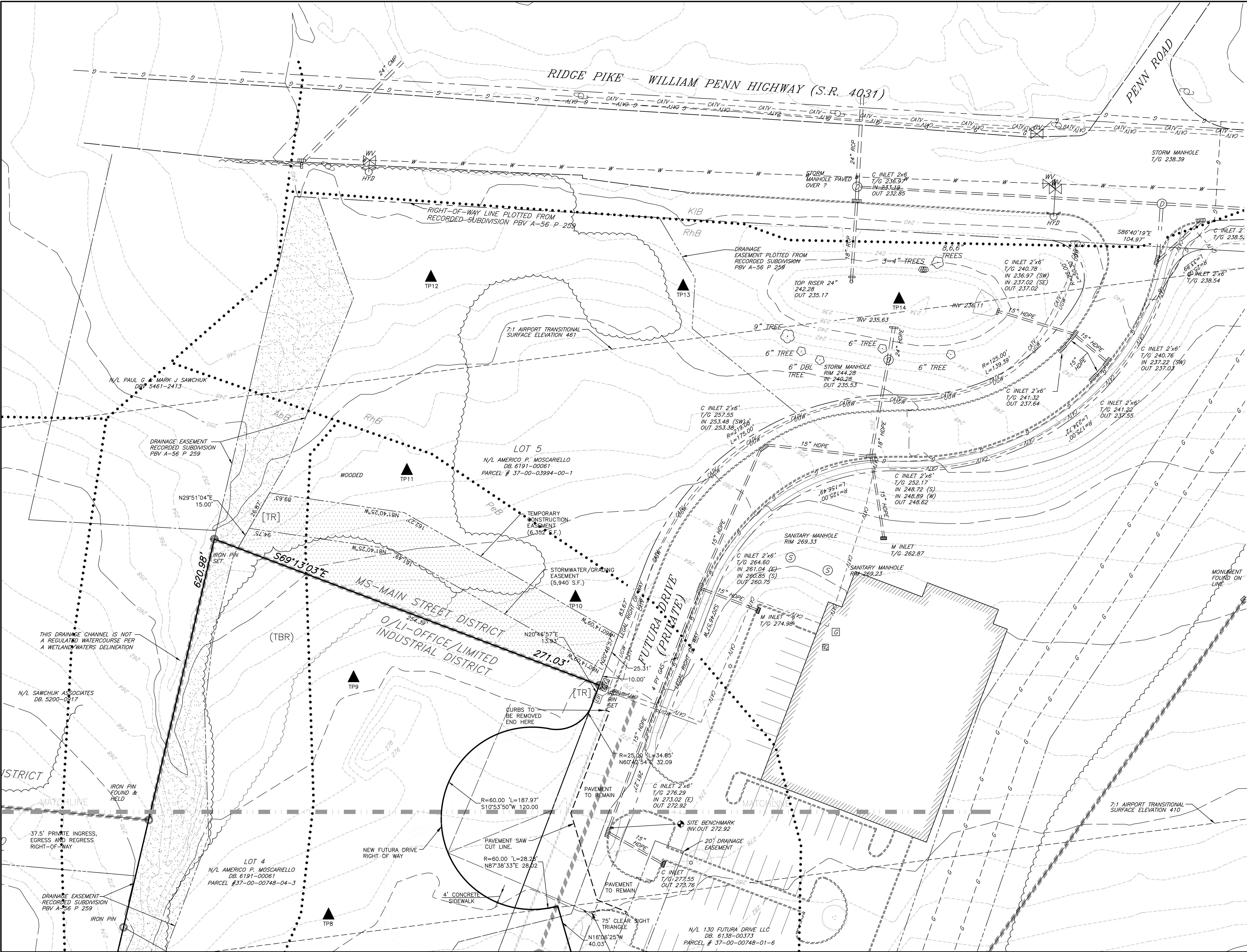
CLIENT  
**AMERICO P. MOSCARIELLO**  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
EXISTING RESOURCE AND SITE ANALYSIS MAP  
**MOSCARIELLO AT FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
208152.00  
SHEET NO.  
7 OF 19  
DWG. NO.  
EC108152

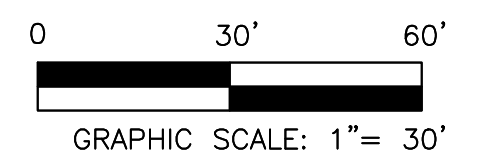


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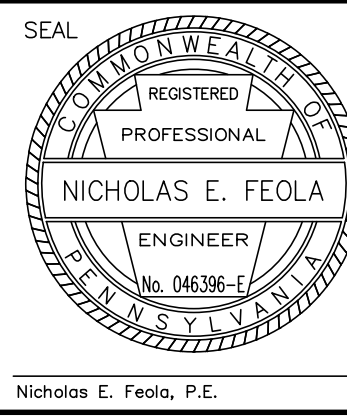
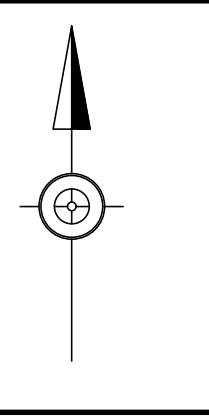


DEMOLITION NOTES

- ALL DEMOLITION MAY BEGIN UPON RECEIPT OF ALL NECESSARY APPROVALS AND PERMITS FROM APPLICABLE GOVERNMENTAL REGULATORY AGENCIES. ALL DEMOLITION WORK SHALL BE PERFORMED BY A QUALIFIED, LICENSED CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PER ACT 287, AS AMENDED, NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS BEFORE COMMENCING DEMOLITION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHOD AND MEANS ARE TO BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY AREA FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC BE SAFE, CLEAN, AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. REFER TO THE EROSION & SEDIMENT CONTROL PLAN SHEETS FOR EROSION AND SEDIMENT CONTROL PROCEDURES.
- THE CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY. DEMOLITION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIAL, CONCRETE WASTE WATER, SANITARY WASTES, ETC. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSE KEEPING MATERIAL MANAGEMENT AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DIRECT ALL PUMP DISCHARGES RESULTING FROM DEWATERING OPERATIONS TO A SUITABLE FILTERING DEVICE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
- SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC.) SHALL BE USED DURING DEMOLITION TO ENSURE THE SAFETY OF THE SURROUNDING PUBLIC.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY AND ALL DEBRIS THAT MAY FALL ON THE ROADWAY OR SIDEWALKS, AND/OR MAY BE TRACKED ON THE ROADWAY OR SIDEWALKS.
- ALL STRUCTURES, PAVEMENT, SUBBASE AND MISCELLANEOUS ITEMS SHALL BE REMOVED IN THEIR ENTIRETY. SIDEWALKS ARE TO BE REMOVED TO THEIR EDGES. ALL OPEN EXCAVATION AS A RESULT OF DEMOLITION WORK (I.E. TRENCHES, AND UTILITY PIPING) SHALL BE BACKFILLED TO SURROUNDING GRADE LEVEL IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AFTER DEMOLITION IS COMPLETE.
- ALL UTILITIES TO BE REMOVED SHALL BE CAPPED AND SEALED AS DIRECTED AND/OR REQUIRED BY THE UTILITY OWNER. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES ON SITE TO BE REMOVED. REFER TO ANY STAGING PLANS FOR TEMPORARY UTILITY CONNECTIONS.
- UTILITY REMOVALS/ABANDONMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TAKE APPROPRIATE STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF THE UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY AND COST OF THE CONTRACTOR TO REPAIR AND/OR REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
  - CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL/ABANDONMENT OF SUCH UTILITY.
  - REMOVAL/ABANDONMENT OF PRIVATE UTILITY COMPANY SERVICES TO BE IN ACCORDANCE WITH EACH RESPECTIVE UTILITY COMPANY STANDARD SPECIFICATIONS AND REQUIREMENTS OR THE FOLLOWING PROCEDURE, WHICHEVER IS MORE RESTRICTIVE:
  - ALL PIPES TO BE ABANDONED SHALL EITHER BE EXCAVATED, REMOVED, AND THE APPROVED TRENCH BACKFILLED WITH COMPACTED MATERIAL OR ALTERNATE MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD, OR PIPE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL/SAND AND THE ENDS SEALED WITH WATERTIGHT GROUT.
  - ALL STRUCTURES TO BE ABANDONED IN PLACE SHALL HAVE AT MINIMUM THE FIRST 5 FEET BELOW PROPOSED GRADE REMOVED. THE REMAINING STRUCTURE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL, CAPPED WITH A WATERTIGHT CONCRETE COVER AND SEALED WITH WATERTIGHT GROUT. WHERE SITE GRADING NECESSitates STRUCTURE REMOVAL, THE ASSOCIATED PIPES SHALL BE FILLED WITH FLOWABLE FILL AND THE ENDS SEALED WITH WATERTIGHT GROUT. THE CONTRACTOR SHALL FIELD VERIFY THE FLOW PATH OF ALL PIPES TO ENSURE PLUGGING PIPES WILL NOT ADVERSELY AFFECT DRAINAGE ON ANY ADJACENT ROADWAY OR PROPERTY.
- PRIOR TO STARTING ANY CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE, FIELD VERIFY, AND EXCAVATE TEST HOLES AS NECESSARY TO DETERMINE ACTUAL LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES WHERE PROPOSED UTILITIES, STRUCTURES OR OTHER WORK WILL CROSS EXISTING UTILITIES OR STRUCTURES. ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING UTILITIES AND APPURTENANCES AND PROPOSED WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK. PREPARE AND PROVIDE A SKETCH TO THE ENGINEER LEGIBLY RECORDING TYPE AND SIZE OF UNDERGROUND UTILITIES AND APPURTENANCES AND MEASURED HORIZONTAL AND VERTICAL LOCATIONS REFERENCED TO PERMANENT SITE IMPROVEMENTS.
- TREES TO BE REMOVED SHALL INCLUDE THE REMOVAL OF AND DISPOSAL OF TREES AND STUMPS.



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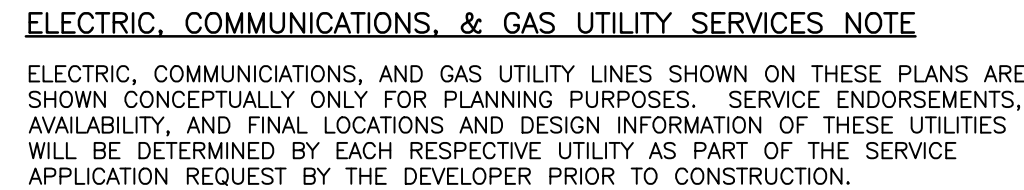
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| DESIGN<br>KRR  | CHKD. BY         |
| DRAFT<br>STA   | CHKD. BY         |
| FILE<br>MOS-02 | DATE<br>8/27/21  |
| NOTES          | SCALE<br>1"= 30' |

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|--|
| CLIENT   |
| AMERICO P. MOSCARIELLO<br>24 DONNY BROOK WAY<br>COLLEGEVILLE, PA 19426 |

|  |  |
|--|--|
| SUBJECT<br>EXISTING RESOURCE AND SITE ANALYSIS MAP<br><br><b>MOSCARIELLO AT FUTURA DRIVE</b> | JOB NO.<br>208152.00                               |
|  | SHEET NO.<br>8 OF 19                               |
|  | DWG. NO.<br>EC208152                               |
|  | LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA |





JOB NO.  
208152.00

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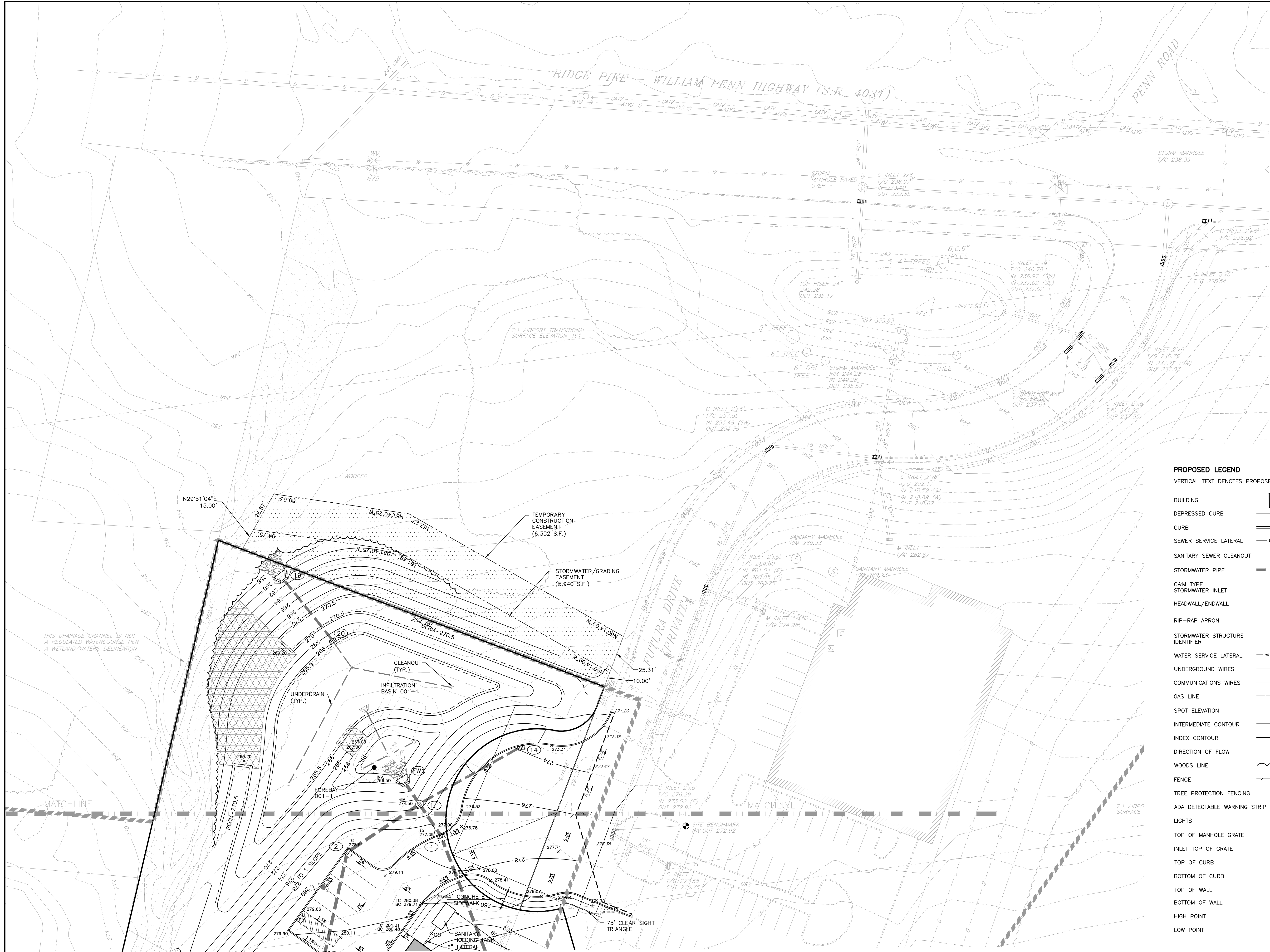
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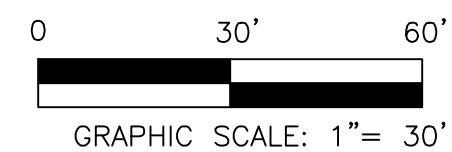
VERTICAL TEXT DENOTES PROPOSED FEATURE

|                                 |     |
|---------------------------------|-----|
| BUILDING                        |     |
| DEPRESSED CURB                  |     |
| CURB                            |     |
| SEWER SERVICE LATERAL           |     |
| SANITARY SEWER CLEANOUT         |     |
| STORMWATER PIPE                 |     |
| C&M TYPE STORMWATER INLET       |     |
| HEADWALL/ENDWALL                |     |
| RIP-RAP APRON                   |     |
| STORMWATER STRUCTURE IDENTIFIER |     |
| WATER SERVICE LATERAL           |     |
| UNDERGROUND WIRES               |     |
| COMMUNICATIONS WIRES            |     |
| GAS LINE                        |     |
| SPOT ELEVATION                  |     |
| INTERMEDIATE CONTOUR            |     |
| INDEX CONTOUR                   |     |
| DIRECTION OF FLOW               |     |
| WOODS LINE                      |     |
| FENCE                           |     |
| TREE PROTECTION FENCING         |     |
| ADA DETECTABLE WARNING STRIP    |     |
| LIGHTS                          |     |
| TOP OF MANHOLE GRATE            | RIM |
| INLET TOP OF GRATE              | TG  |
| TOP OF CURB                     | TC  |
| BOTTOM OF CURB                  | BC  |
| TOP OF WALL                     | TW  |
| BOTTOM OF WALL                  | BW  |
| HIGH POINT                      | HP  |
| LOW POINT                       | LP  |

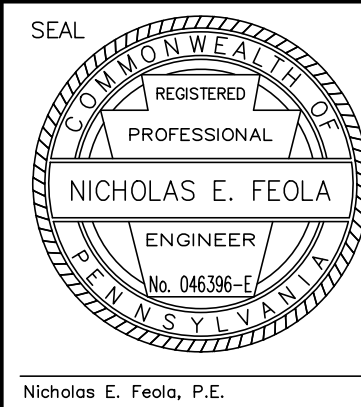
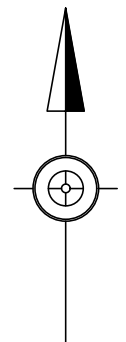
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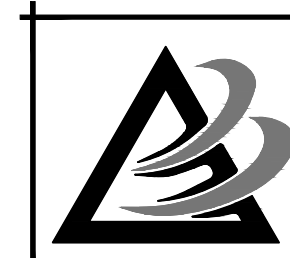
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| SITE BENCHMARK         |  |
| PROPERTY LINE          |  |
| ADJOINER LINE          |  |
| LEGAL RIGHT OF WAY     |  |
| EASEMENT LINE          |  |
| BUILDING/STRUCTURE     |  |
| CONCRETE CURB          |  |
| EDGE OF PAVE           |  |
| CONTOURS               |  |
| SPOT ELEVATION         |  |
| WOOD LINE              |  |
| TREES                  |  |
| SANITARY SEWER MANHOLE |  |
| STORM SEWER            |  |
| M&C TYPE INLETS        |  |
| WATER MAIN             |  |
| FIRE HYDRANT           |  |
| WATER VALVE            |  |
| WATER MANHOLE          |  |
| GAS MAIN               |  |
| GAS VALVE              |  |
| COMMUNICATIONS WIRES   |  |
| UNDERGROUND WIRES      |  |
| UTILITY POLE           |  |
| SIGN                   |  |



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| MANAGER | KRK         |
| DESIGN  | KRK         |
| DRAFT   | STA         |
| FILE    | MOS-02      |
| NOTES   | SCALE 1\"/> |



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610.323.4040

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CLIENT

AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT

GRADING & UTILITY PLAN

MOSCARIELLO AT  
FUTURA DRIVE

LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208152.00

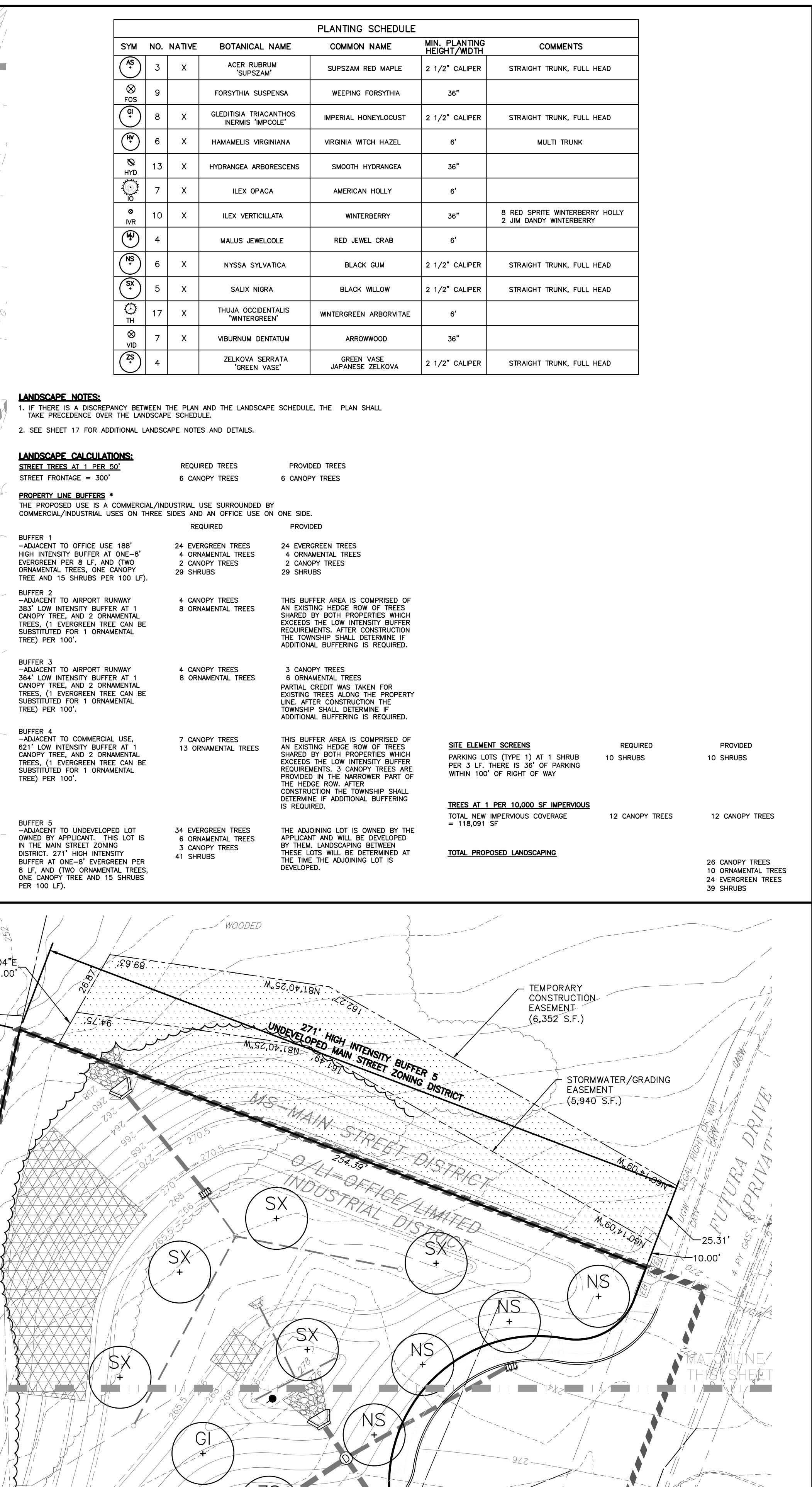
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10 OF 19

DWG. NO.

GU208152





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|   |  |  |  |  |  | <br>Nicholas E. Feola, P.E. |  |  | <div>MANAGER<br/>KRK _____</div> <div>DESIGN<br/>KRK      CHKD. BY _____</div> <div>DRAFT<br/>STA      CHKD. BY _____</div> <div>FILE<br/>MOS-02      DATE 8/27/21</div> <div>NOTES<br/>SCALE 1"= 30'</div> |  |  | <div><b>BURSICH ASSOCIATES</b><br/>ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS<br/>2129 EAST HIGH STREET<br/>POTTSTOWN, PA 19464<br/>610.323.4040<br/><br/>www.bursich.com</div> |  |  | CLIENT<br><br>AMERICO P. MOSCARIELLO<br>24 DONNY BROOK WAY<br>COLLEGEVILLE, PA 19426 |  |  | SUBJECT<br><br><u>LANDSCAPE PLAN</u><br><br><b>MOSCARIELLO AT<br/>FUTURA DRIVE</b><br><br>LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA |  |  | JOB NO.<br>208152.00 |  |  |
|   |  |  |   |  |  |   |  |  |   |  |  |   |  |  | SHEET NO.<br>11 OF 19  |  |  |  |  |  |                      |  |  |
|   |  |  |   |  |  |   |  |  |   |  |  |   |  |  | DWG. NO.<br>LA108152   |  |  |  |  |  |                      |  |  |
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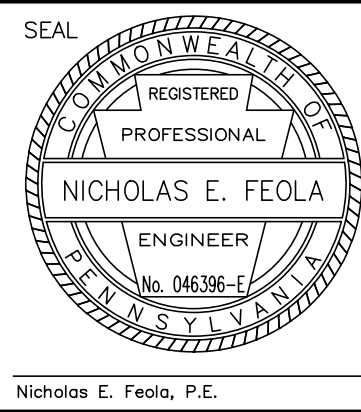
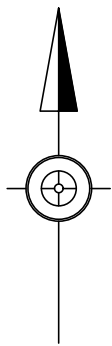




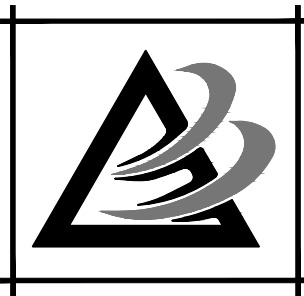


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| 1   | REVISED PER TOWNSHIP & CONSULTANT REVIEWS | 2/16/23 | DPC |
| NO. | REVISION                                  | DATE    | BY  |



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| MANAGER | KRK    |
| DESIGN  | KRK    |
| DRAFT   | STA    |
| FILE    | MOS-02 |
| NOTES   | SCALE  |



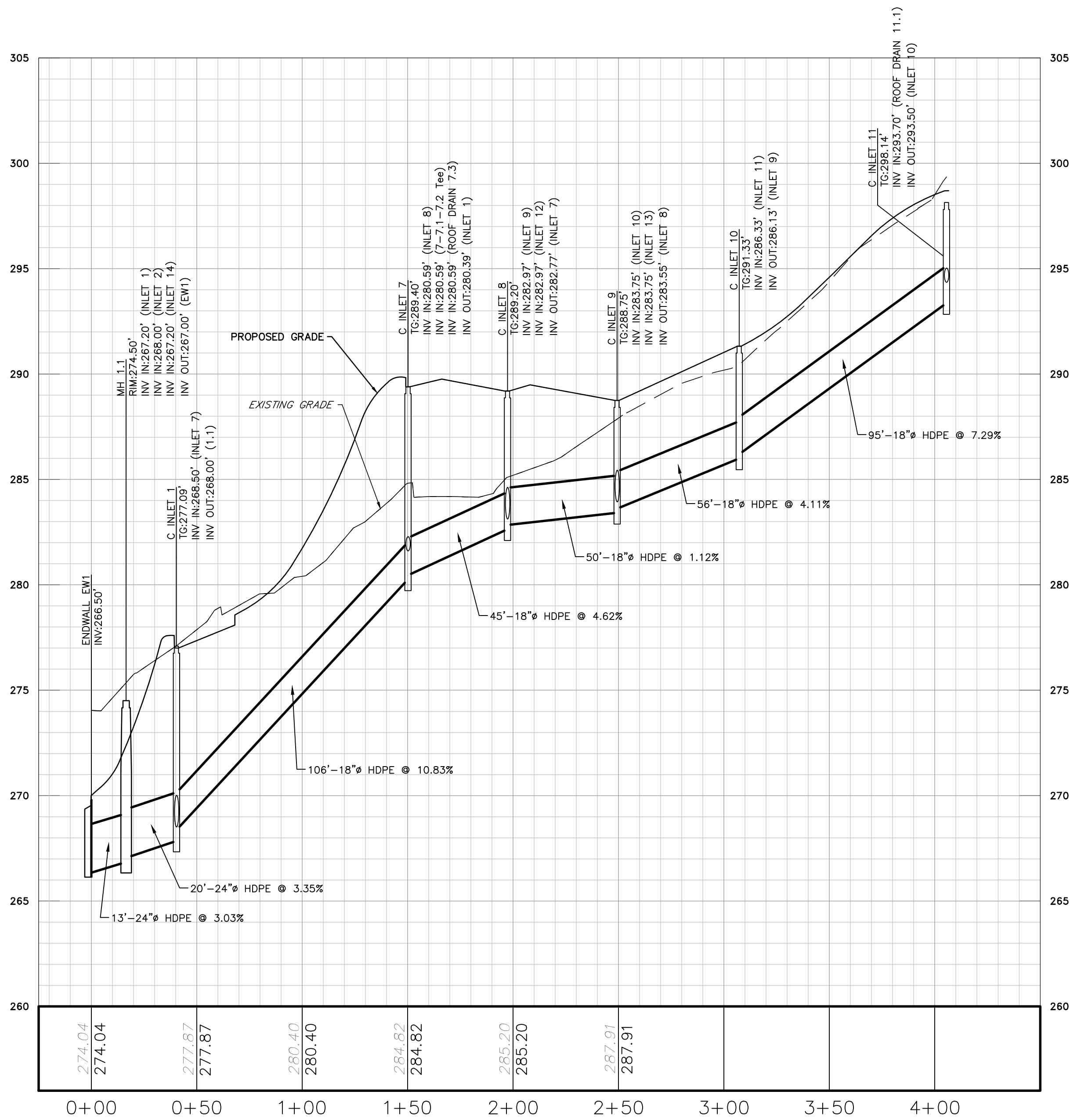
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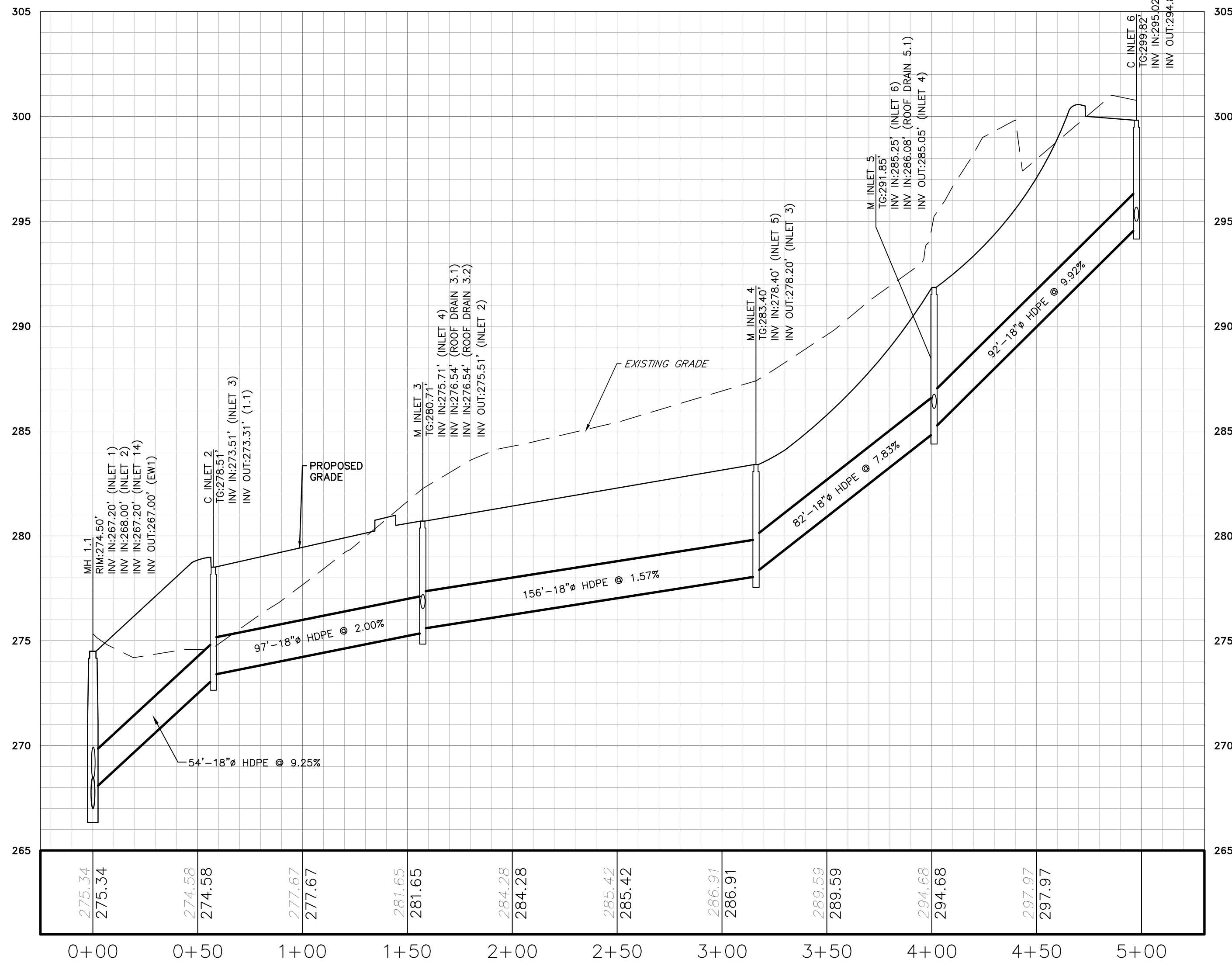
CLIENT  
**AMERICO P. MOSCARIELLO**  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
DRAINAGE PROFILES  
**MOSCARIELLO AT FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
208152.00  
SHEET NO.  
13 OF 19  
DWG. NO.  
DP108152



EW1 - INLET 11  
PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'

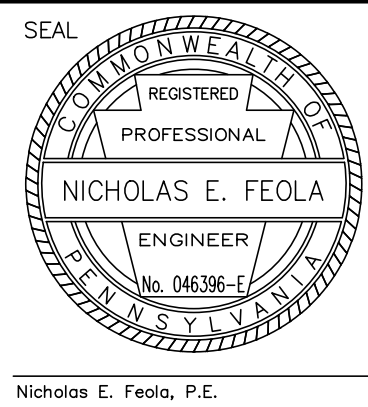
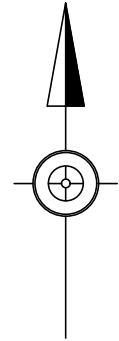


INLET 6 TO STORM MH 1.1  
PROFILE SCALE:  
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VERT: 1"=4'

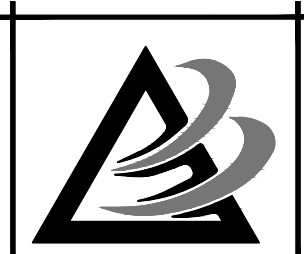


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| NO. | REVISION                                  | DATE    | BY  |



|                |                 |
|----------------|-----------------|
| MANAGER<br>KRR |                 |
| DESIGN<br>KRR  | CHKD. BY        |
| DRAFT<br>STA   | CHKD. BY        |
| FILE<br>MOS-02 | DATE<br>8/27/21 |
| NOTES          | SCALE           |



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DRAINAGE PROFILES

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FUTURA DRIVE

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JOB NO.

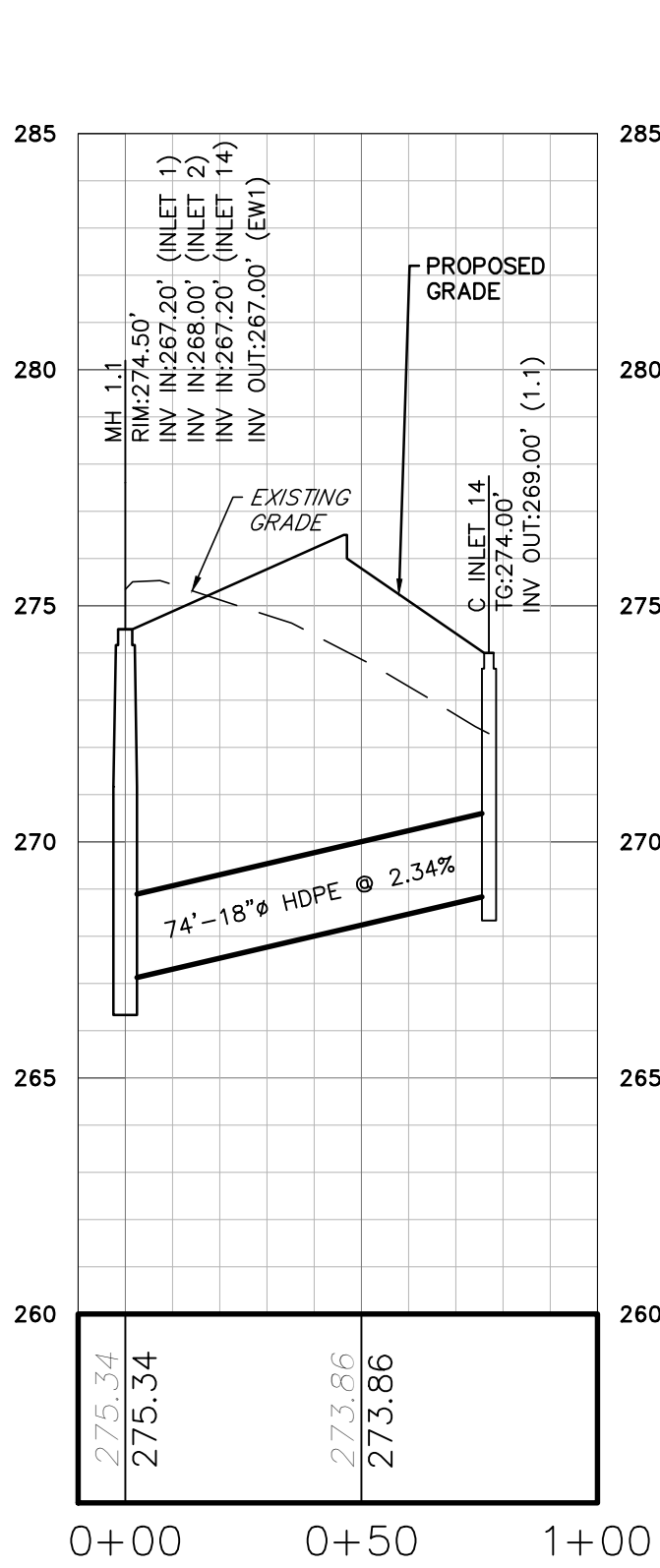
208152.00

SHEET NO.

14 OF 19

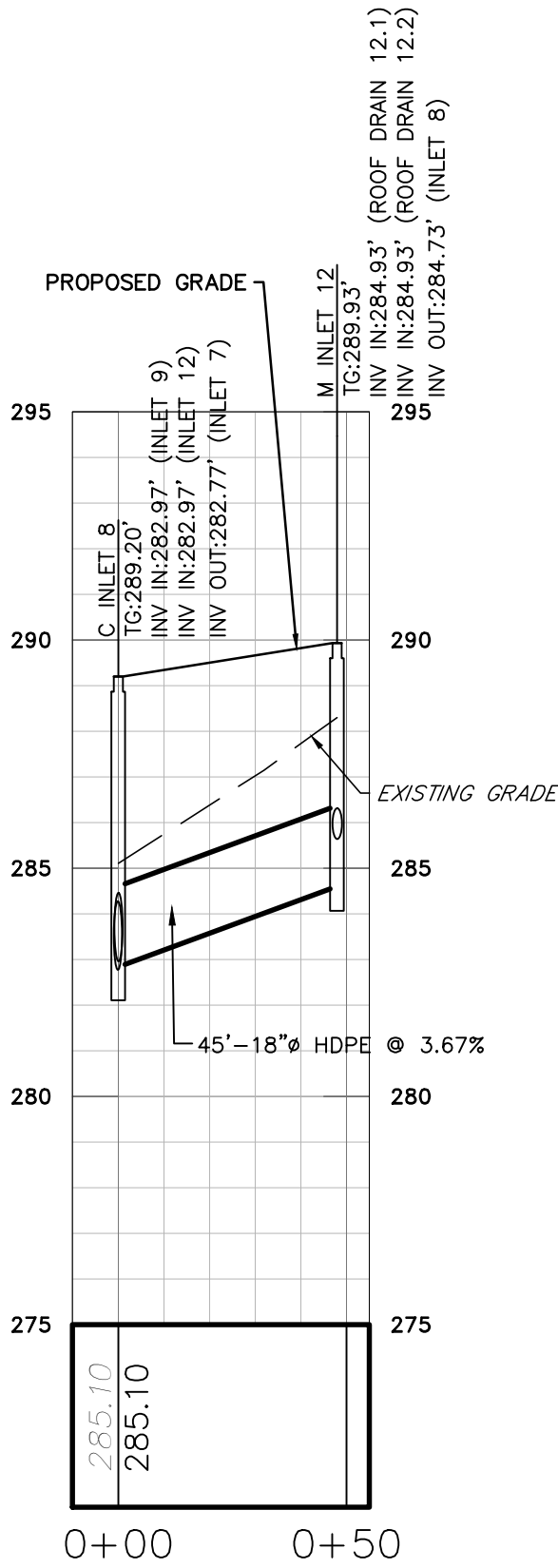
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DP208152



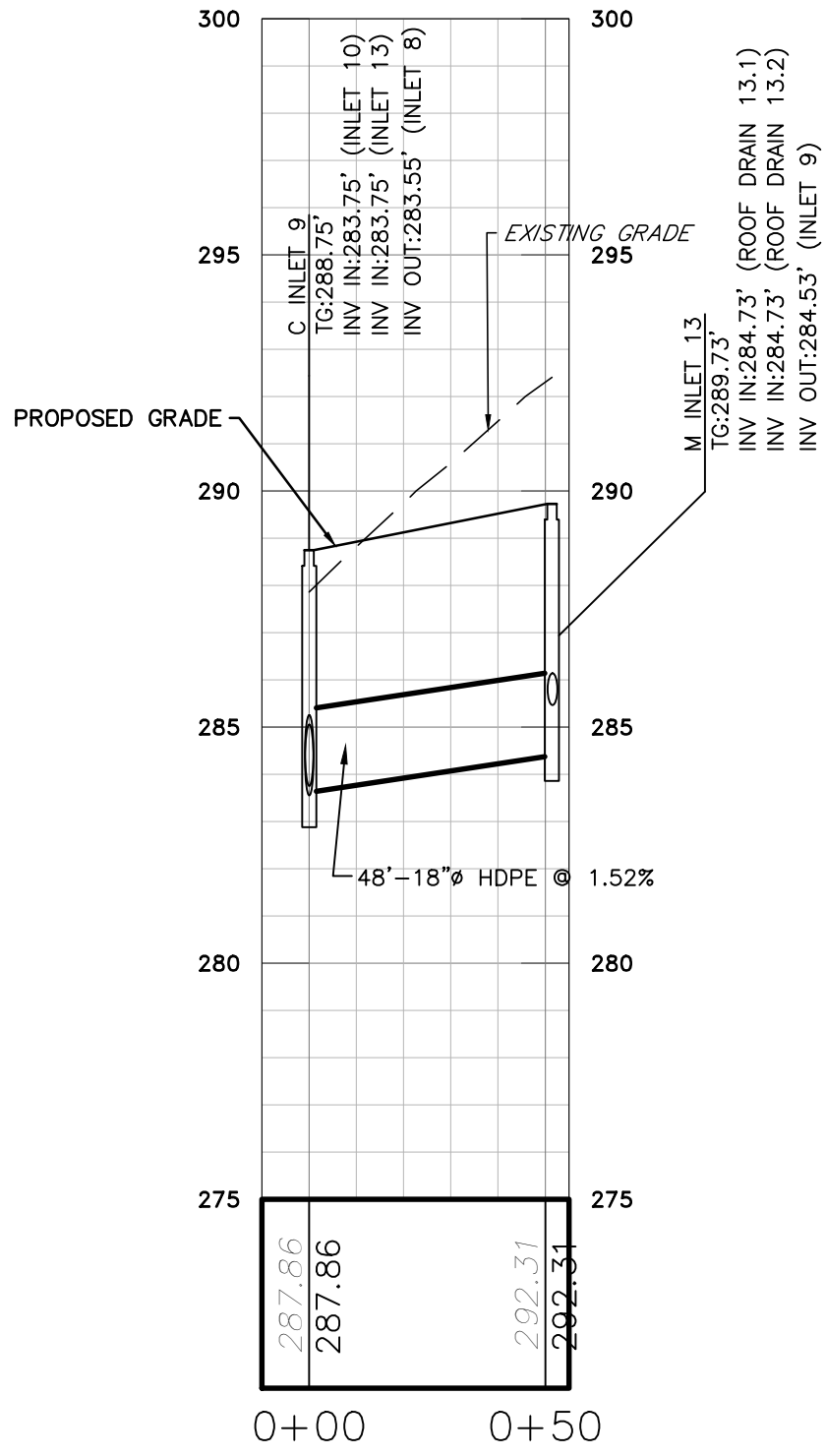
INLET 14 - STORM MH 1.1

PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'



INLET 12 - INLET 8

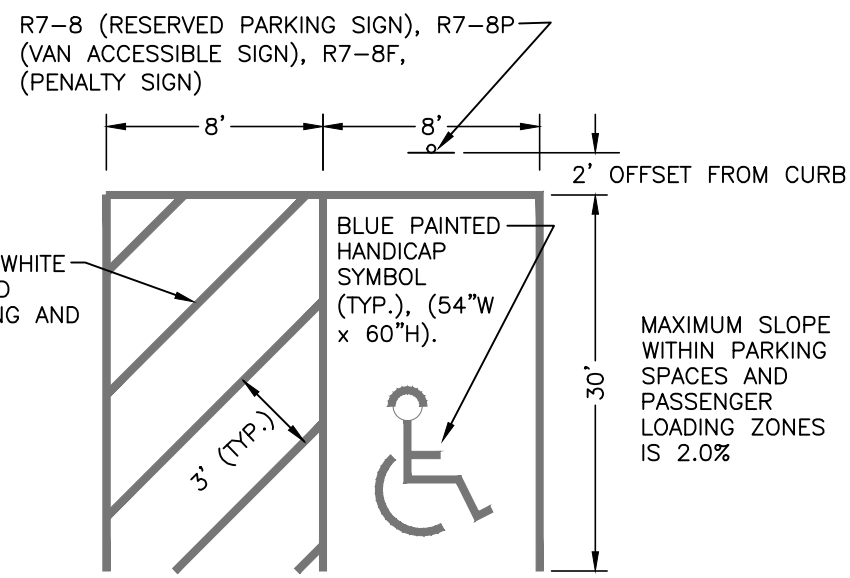
PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'



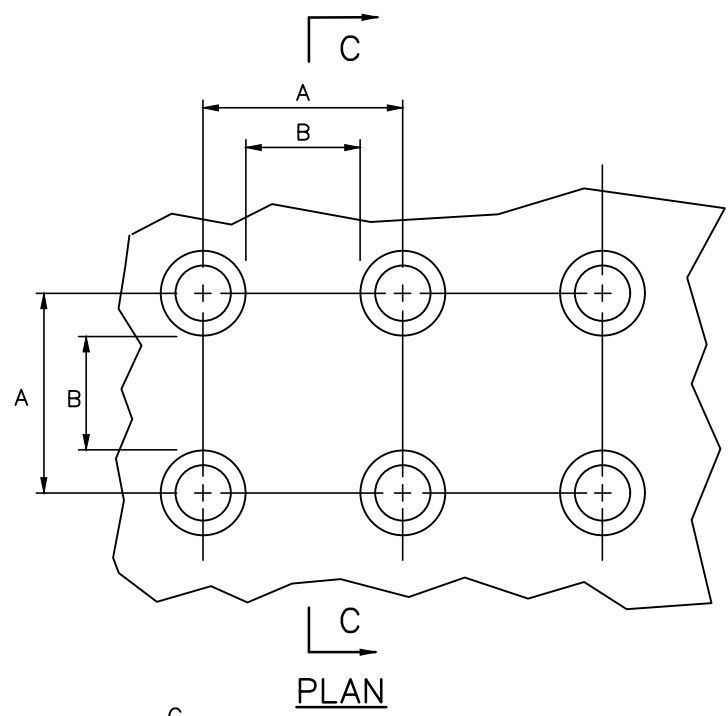
INLET 13 - INLET 9

PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'





**ADA VAN ACCESSIBLE SPACE**  
DETAIL  
NO SCALE

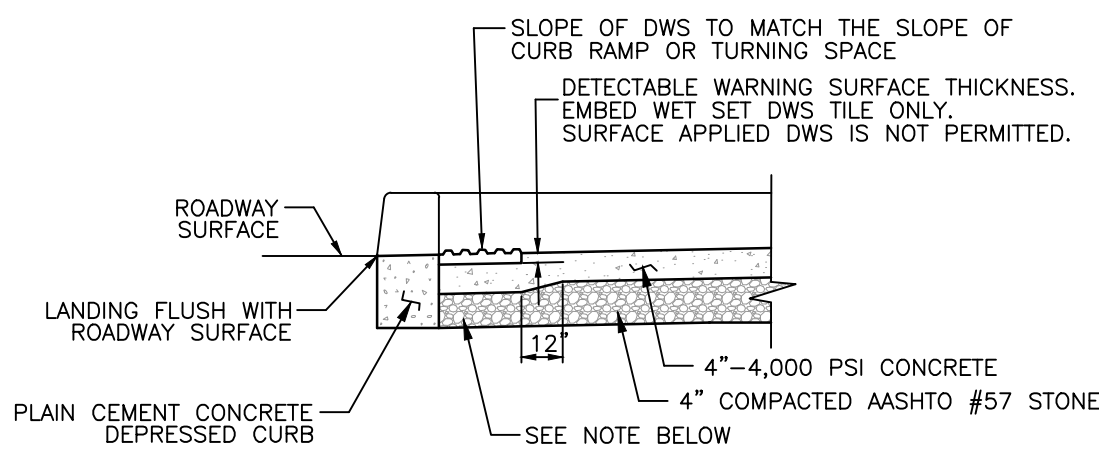


**SECTION C-C**

| TRUNCATED DOME DIMENSIONS |                  |                  |  |
|---------------------------|------------------|------------------|--|
| DIM                       | MIN<br>mm (inch) | MAX<br>mm (inch) |  |
| A                         | 41 (1.6")        | 61 (2.4")        |  |
| B                         | 17 (0.65")       | 38 (1.5")        |  |
| C                         | (13)             | (13)             |  |
| D                         | 23 (0.9")        | 36 (1.4")        |  |

**DETECTABLE WARNING SURFACE (DWS)**  
TRUNCATED DOME DETAILS

- (13) THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.

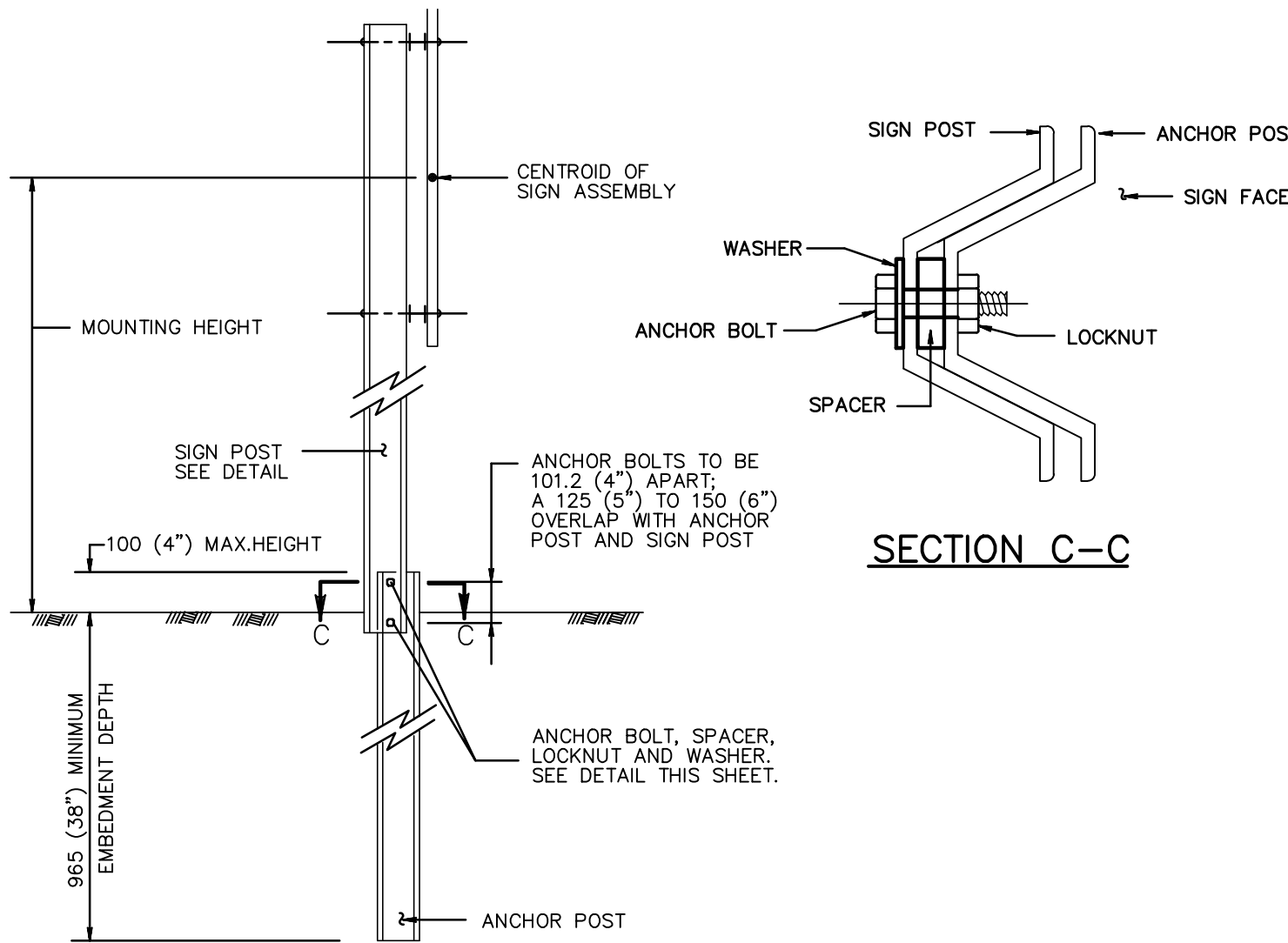


- NOTES:  
CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SIDEWALK UNDER DETECTABLE WARNING SURFACE.  
OPTIONAL: CONSTRUCT 2" MAX CONCRETE BORDER AROUND DWS TO PROVIDE PROPER INSTALLATION. SEE PEDESTRIAN PUSHBUTTON ACCESS AREAS DETAIL FOR PLAN VIEW DETAILS.

**DETECTABLE WARNING SURFACE**  
EMBEDDING DETAIL  
NO SCALE

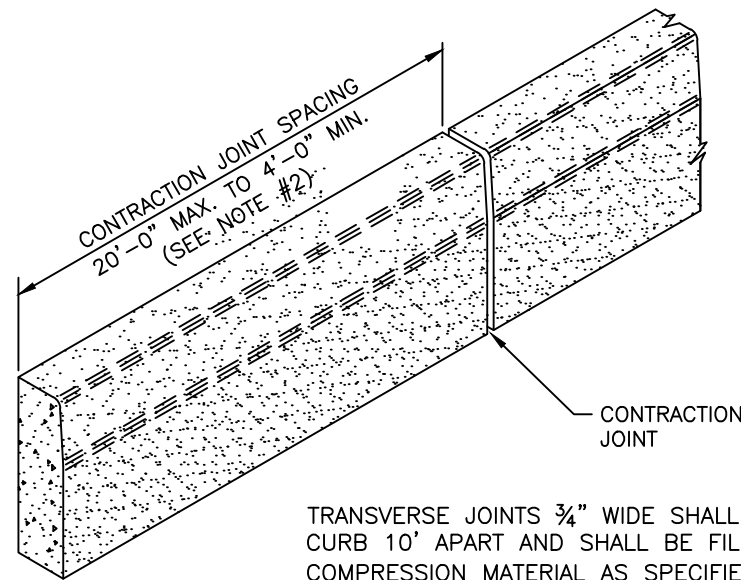
**ADA NOTES**

ALL ADA ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT VERSION OF PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M, RC-67M, AND PENNDOT DESIGN MANUAL 2, CHAPTER 6.



1. TO BE USED FOR ALL NEW SIGN INSTALLATIONS  
2. REFER TO PENNDOT PUB. 111M, TC-8600 STANDARD DETAILS FOR ADDITIONAL APPLICABLE INFORMATION

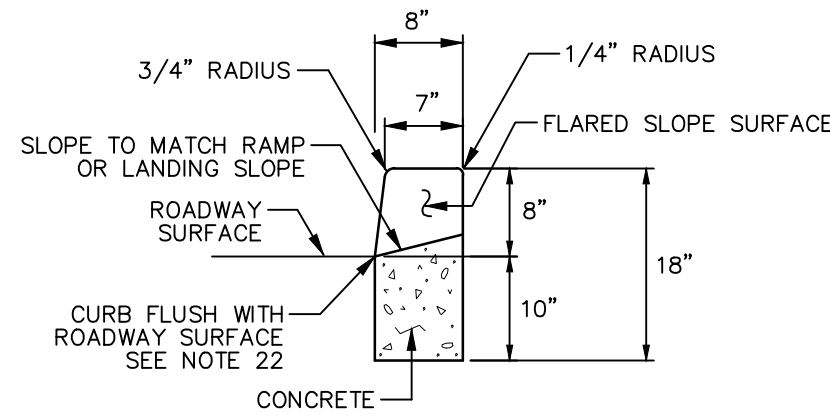
**BREAKAWAY SIGN POST (TYPE B) DETAIL**  
NO SCALE



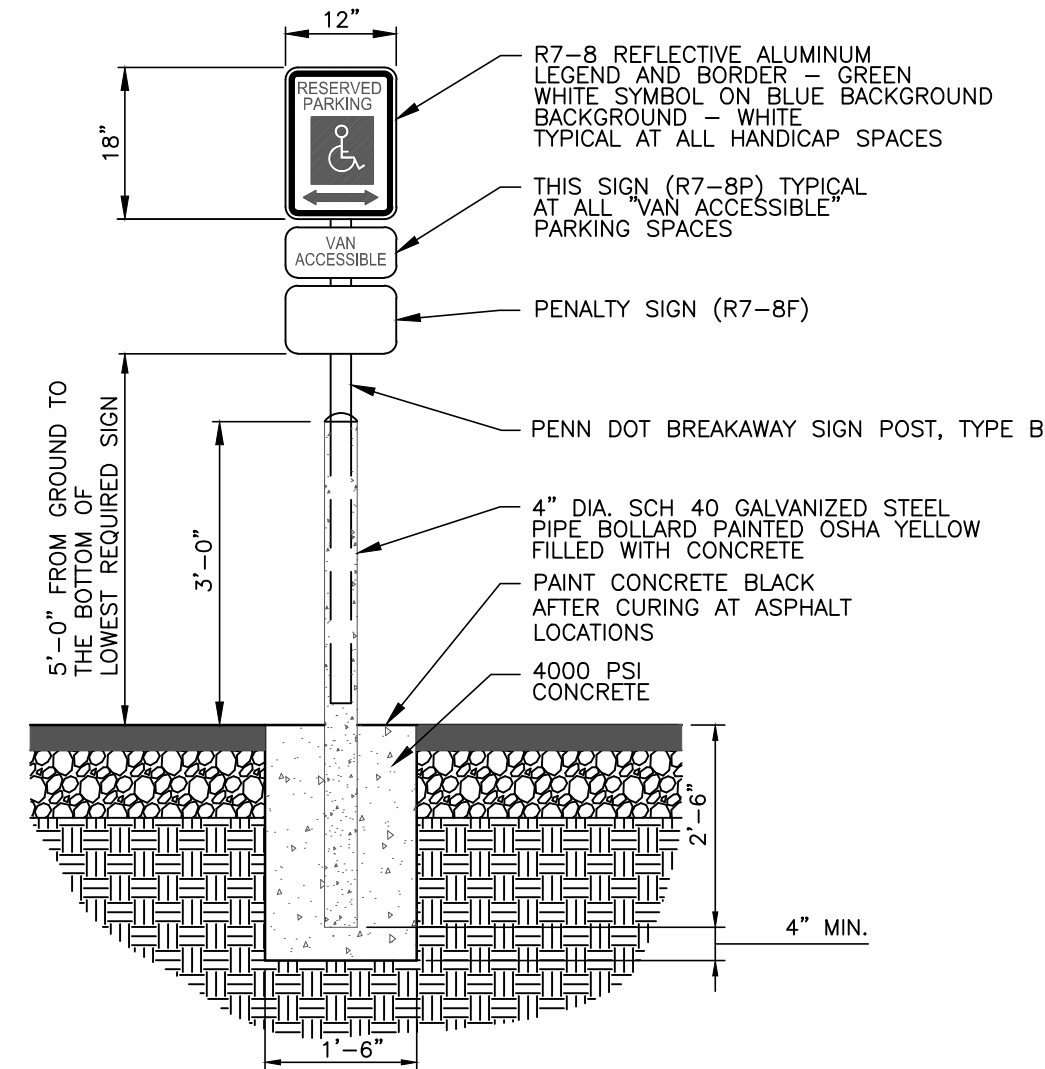
**PLAIN CEMENT CONCRETE CURB**  
NO SCALE  
SEE CONCRETE CURB NOTES

NOTE:  
ALL CONCRETE EXPOSED TO THE ENVIRONMENTS SHALL BE RATED FOR 4,500 PSI AT 28 DAYS, 0.45 MAXIMUM WATER/CEMENT RATIO, 5-8% AIR ENTRAINMENT AND A CURING COMPOUND.

**CONCRETE SPECIFICATION NOTE**

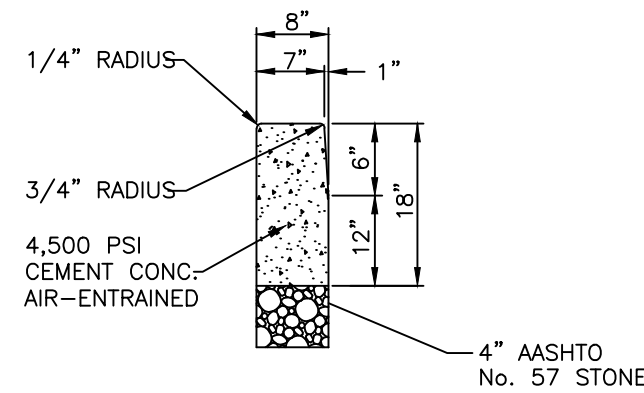


**DEPRESSED ADA CURB**  
NO SCALE

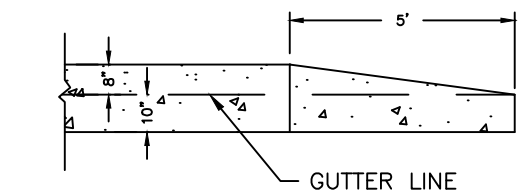


1. PLACE ONE SIGN AT EACH HANDICAP SPACE.  
2. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

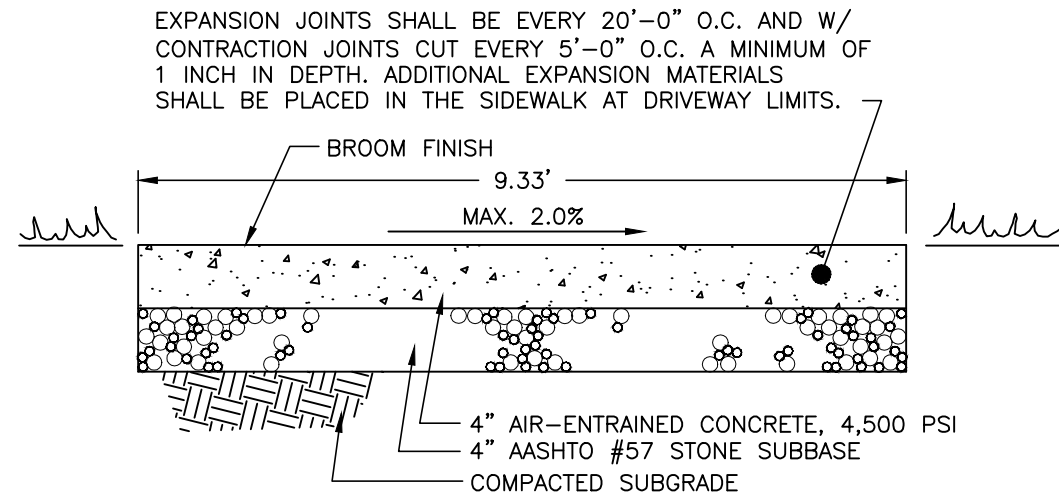
**HANDICAP PARKING SIGN**  
NO SCALE



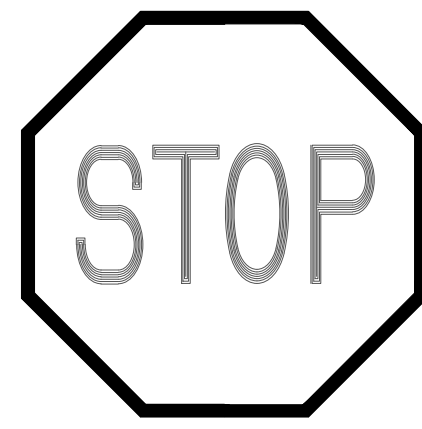
**CONC. CURB DETAIL**  
NO SCALE



**END CURB TREATMENT DETAIL**  
NO SCALE



**SIDEWALK DETAIL**  
NO SCALE



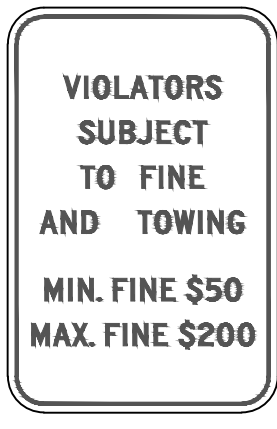
LEGEND AND BORDER - WHITE (REFLECTORIZED)  
BACKGROUND - RED (REFLECTORIZED)

**R1-1 STOP SIGN**  
30"X30"  
NO SCALE



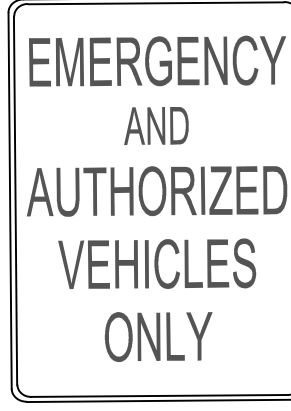
LEGEND AND BORDER - GREEN (REFLECTORIZED)  
BACKGROUND - WHITE (REFLECTORIZED)

**R7-8P VAN ACCESSIBLE SIGN**  
12"X6"  
NO SCALE



LEGEND AND BORDER - RED (REFLECTORIZED)  
BACKGROUND - WHITE (REFLECTORIZED)

**R7-8F RESERVED PARKING PENALTIES SIGN**  
12"X18"  
NO SCALE

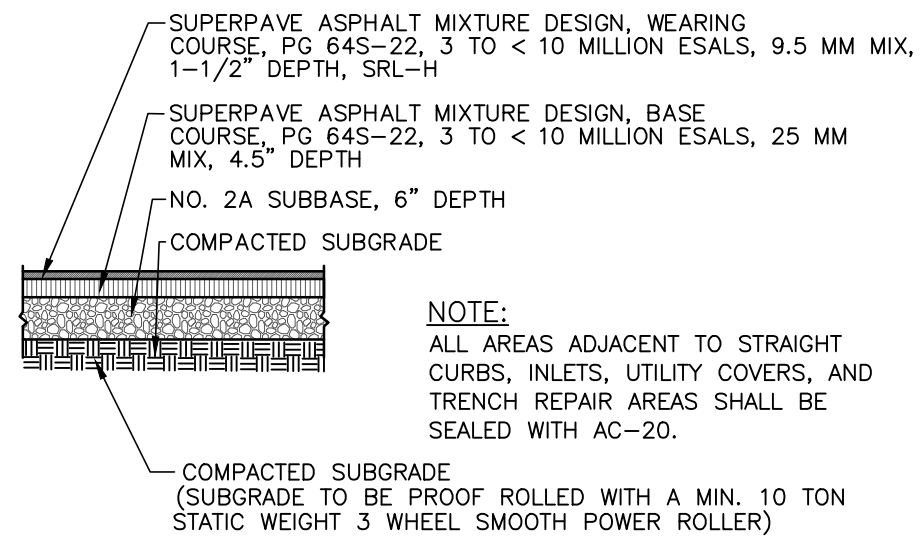


LEGEND AND BORDER - BLACK (NON-REFLECTORIZED)  
BACKGROUND - WHITE (REFLECTORIZED)

**R5-101 EMERGENCY AND AUTHORIZED VEHICLES ONLY SIGN**  
24"X30"  
NO SCALE

**TRAFFIC CONTROL SIGNS**

1. TRAFFIC CONTROL SIGNS SHALL BE POSTED ON PENNDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE TC-8700 SERIES IN PENNDOT PUBLICATION 111M.  
2. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSION OF PENNDOT PUBLICATION 236M "HANDBOOK OF APPROVED SIGNS".

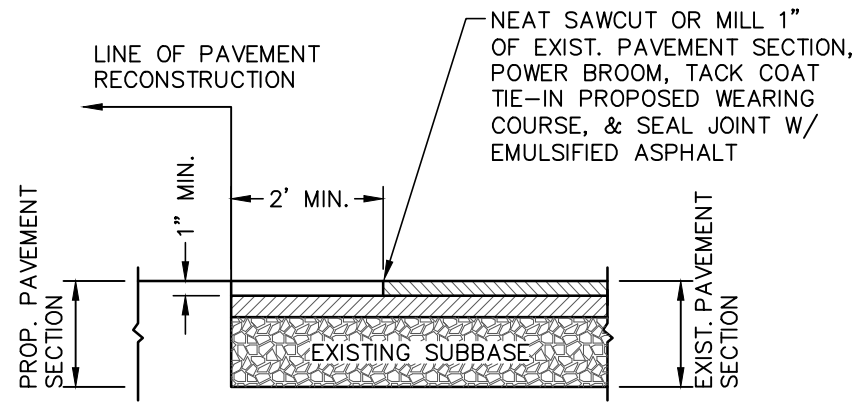


**MACADAM PAVING SECTION FOR ON-SITE**  
DRIVES AND PARKING AREAS  
NO SCALE

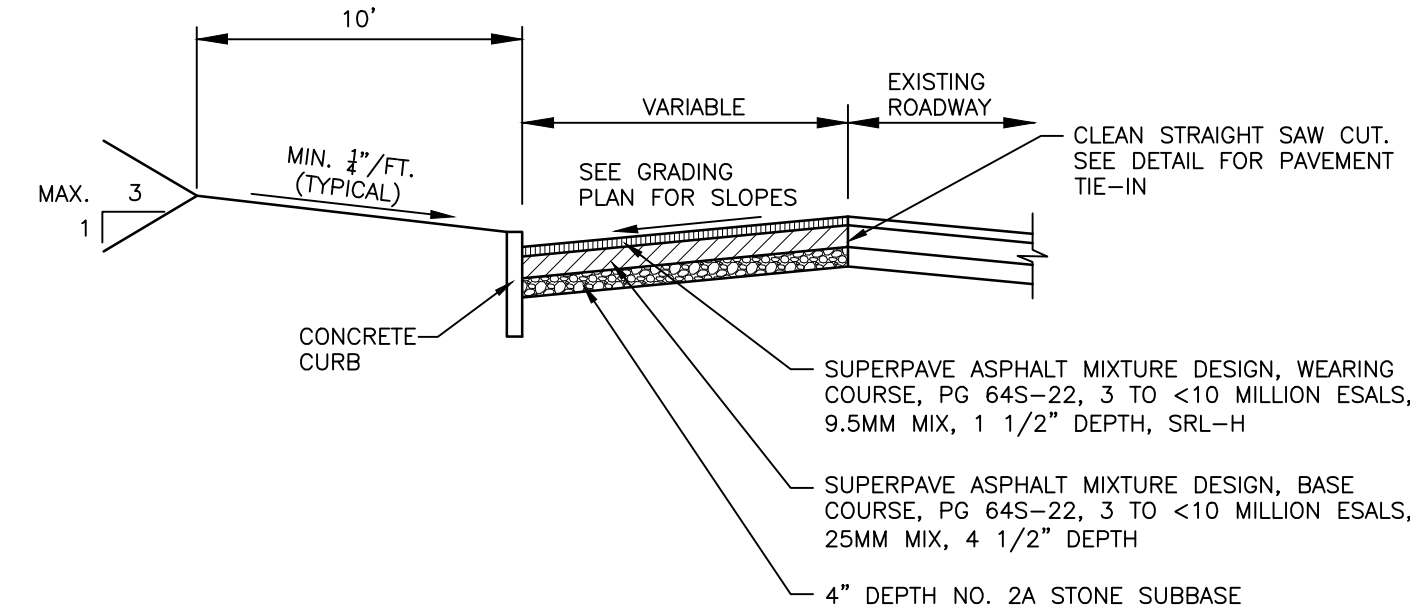
**NOTES:**

1. ALL CONSTRUCTION AND DESIGN TO BE IN ACCORDANCE WITH LIMERICK TOWNSHIP SPECIFICATIONS.  
2. DO NOT PLACE BITUMINOUS PAVING MIXTURES BETWEEN OCTOBER 31 AND APRIL 1, UNLESS OTHERWISE PERMITTED IN WRITING BY THE TOWNSHIP ENGINEER.  
3. THE PAVEMENT THICKNESS IS BASED ON A "GOOD" SUBGRADE CLASS. CONTRACTOR TO PROVIDE "GOOD" COMPACTED SUBGRADE PRIOR TO AGGREGATE SUBBASE.  
NOTE:  
ALL AREAS ADJACENT TO STRAIGHT CURBS, INLETS, UTILITY COVERS, AND TRENCH REPAIR AREAS SHALL BE SEALED WITH AC-20.  
SUBGRADE TO BE PROOF ROLLED WITH A MIN. 10 TON STATIC WEIGHT 3 WHEEL SMOOTH POWER ROLLER

**MACADAM PAVING SECTION FOR ON-SITE**  
DRIVES AND PARKING AREAS  
NO SCALE

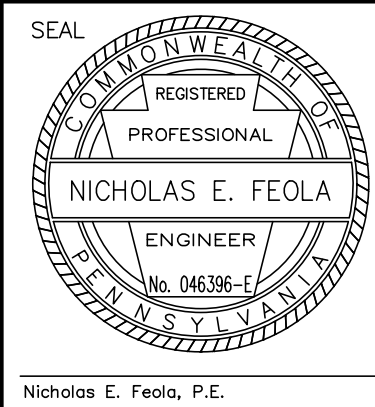
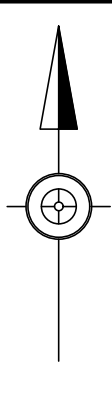


**PAVEMENT TIE-IN DETAIL**  
NO SCALE

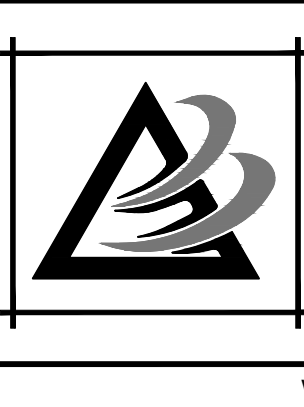


**FUTURA DRIVE CUL DE SAC**  
CROSS SECTION  
NO SCALE

| NO. | REVISION                                  | DATE    | BY  |
|-----|---|---------|-----|
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|         |        |
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| MANAGER | KRK    |
| DESIGN  | KRK    |
| DRAFT   | STA    |
| FILE    | MOS-02 |
| NOTES   | SCALE  |



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CLIENT  
**AMERICO P. MOSCARIELLO**  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
**CONSTRUCTION DETAILS**  
**MOSCARIELLO AT**  
**FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
208152.00  
SHEET NO.  
15 OF 19  
DWG. NO.  
CD108152



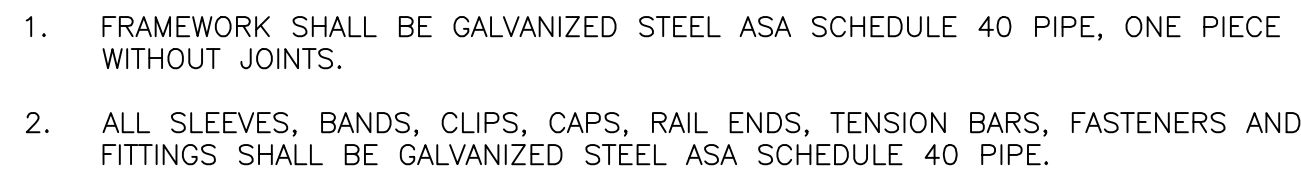


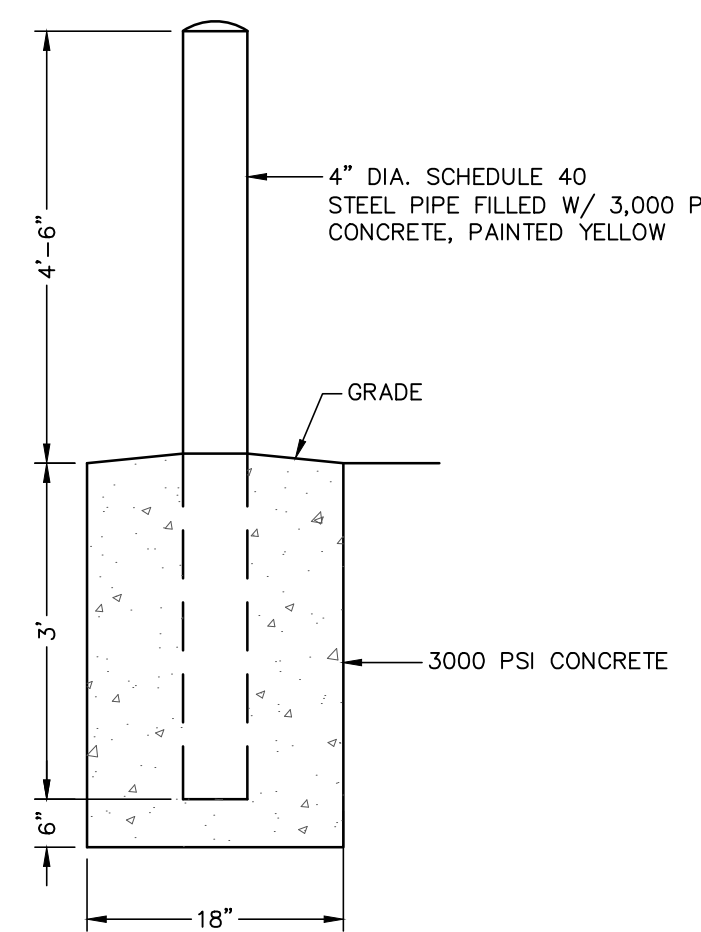
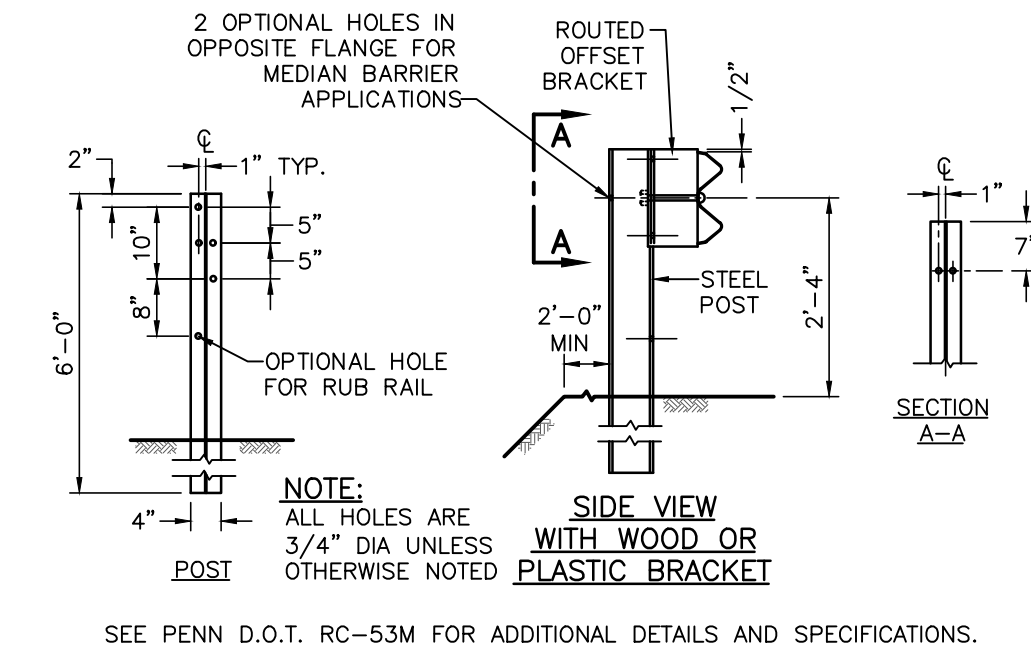
Diagram illustrating the cross-section of a pipe installation, showing the relationship between the pipe, bedding, haunching, and backfill.

Key components and dimensions:

- FINAL BACKFILL:** The top layer of the installation, indicated by a hatched pattern.
- 12" INITIAL BACKFILL:** The layer immediately surrounding the pipe, indicated by a pattern of small circles.
- 12" MIN.:** The minimum thickness of the initial backfill layer on either side of the pipe.
- PROPOSED PIPE:** The main pipe being installed, shown as a circle with a hatched pattern.
- EXIST SOIL:** The existing ground level, indicated by a pattern of small squares.
- HAUNCHING:** The layer of bedding material directly beneath the pipe, indicated by a pattern of small circles.
- 6" BEDDING:** The minimum thickness of the bedding layer beneath the haunching.
- ASBESTOS GRADATION (NOT TO SCALE):** A note indicating the bedding material should meet the requirements of Publication 408, Section 703 and Class 1 material per ASTM D-2321.

PROVIDE NEAT POWDERED BENTONITE IN THE PIPE BEDDING STONE (BEDDING STONE CHOKED WITH BENTONITE) AT ALL PIPE TO MANHOLE GASKET CONNECTIONS.

SCALE: NONE



SECURITY FENCE OR GUIDERAIL

4" TOPSOIL WITH SEED & MULCH ON 8" MIN. LOW PERMEABLE SOIL

3:1 MAX.

30"

CAP UNIT

TOP OF WALL

TOPSOIL

TOP OF LEVELING PAD

3:1 MAX.

NON-SHRINK GROUT AROUND POST

MODULAR BLOCK UNIT

1/48

(TO BE SPECIFIED BY MANUF.)

UNIT CORE FILL (w/in Unit only)

40"

MIRAGRID 5T

RETAINED BACKFILL

REINFORCED BACKFILL PENNDOT 2RC OR 2A

EMBANKMENT DRAIN BLANKET WITH 6" PVC OUTLET PIPE (OUTLET @ LOW POINT OF WALL FOUNDATION) (OUTLET THRU WALL W/6" PVC PIPE)


LEVELING PAD

6"

3"

APPROX. EXCAVATION LINE

FOR ALL WALLS 4 FEET OR GREATER IN HEIGHT, CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS AND STRUCTURAL CALCULATIONS



SEAL

COMMONWEALTH OF PENNSYLVANIA

REGISTERED PROFESSIONAL

NICHOLAS E. FEOLA

ENGINEER

No. 046396-E

Nicholas E. Feola, P.E.

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SUBJECT

## CONSTRUCTION DETAILS

MOSCARIELLO AT  
FUTURA DRIVE

LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208152.00

SHEET NO.

16 OF 19

DWG. NO.

CD208152



1. THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AND THE PLANTING AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, MOISTURE AND SUNLIGHT.
2. PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY. ALL PLANTS SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITION AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS, LATEST EDITION.
3. ALL PLANT MATERIAL SHALL BE HARDY WITHIN THE UNITED STATES' DEPARTMENT OF AGRICULTURE (USDA) HARDINESS ZONE 6, APPLICABLE TO LIMERICK TOWNSHIP.
4. CANOPY TREES SHALL REACH A MINIMUM HEIGHT AND SPREAD OF 30 FEET AT MATURITY AS DETERMINED BY THE LATEST AVAILABLE STANDARD. DECIDUOUS, NEW TREES SHALL HAVE A MINIMUM CALIPER OF 2.5 INCHES AT PLANTING.

6. SMALL SHRUBS SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF FOUR FEET BASED ON AAN STANDARDS FOR THAT SPECIES. NEW SHRUBS SHALL HAVE A MINIMUM SIZE OF 18 INCHES AT TIME OF PLANTING.

8. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION BY TOWNSHIP ENGINEER AND UNTIL SATISFACTORY INSPECTION BETWEEN MAY 15 AND NOVEMBER 15. ANY PLANT MATERIAL THAT IS 25% OR GREATER DEAD SHALL BE CONSIDERED DEAD.

10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

12. PLANT MATERIAL SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED OR CONTAINER GROWN. IT SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, VIGOROUS ROOT SYSTEM AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.

ADDITIONALLY:

- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOGETHER IN NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND BE CERTIFIED BY THE APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN DOWN UNDER THE SAME CONDITIONS IN THE TOWNSHIP OR PROPERLY ACCLIMATED TO CONDITIONS OF THE TOWNSHIP.

15. TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE LAND DEVELOPMENT HAS BEEN COMPLETED.

17. AFTER INSTALLATION PRUNE BRANCHES AND FOLIAGE (NOT ALL EVERGREENS OR DECIDUOUS END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. DO NOT CUT LEADER ON ANY EVERGREEN SHRUB OR ANY EVERGREEN OR DECIDUOUS TREE. SPRAY TRUNK STEM AND BRANCHES WITH ANTI-DESICCANT WAX.

19. SCARIFY COMPACTED SUBSOILS AT BOTTOM AND SIDES OF PLANTING PIT BEFORE INSTALLATION.

21. ALL AREAS UNDERLAIN BY ROCK ARE TO BE MEASURED TO DETERMINE IF MINIMUM DEPTH

22. FILLING OF SOILS OVER THE ROOTS OF TREES TO BE PRESERVED IS STRICTLY PROHIBITED.

23. CLEANLY PRUNE ALL DAMAGED ROOT ENDS IMMEDIATELY PRIOR TO BACKFILLING PLANTING PIT.

24. THE DEVELOPER OR LANDOWNER SHALL DEPOSIT WITH THE TOWNSHIP A SUM OF MONEY EQUAL TO THE AMOUNT NECESSARY TO COVER THE COST OF PURCHASING, PLANTING, MAINTAINING AND REPLACING ALL VEGETATIVE MATERIALS FOR A PERIOD OF 18 MONTHS.

25. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNERS, TENANTS AND/OR OTHER OCCUPANTS OF THE PREMISES TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, WHICH RESPONSIBILITY SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH, UNLESS SPECIFIED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

26. EXISTING VEGETATION INTENDED TO REMAIN AS PART OF THE LANDSCAPING OF A LAND DEVELOPMENT SHALL BE IDENTIFIED IN THE FIELD PRIOR TO ANY CLEARING AND PHYSICALLY PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. A TEMPORARY PHYSICAL BARRIER SHALL BE ERECTED A MINIMUM OF ONE FOOT OUTSIDE THE DRIP LINE OF INDIVIDUAL TREES, TREE MASSES OR WOODLANDS PRIOR TO MAJOR CLEARING OR CONSTRUCTION. THE BARRIER SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.

27. REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF SUCCESSIVE PROPERTY OWNERS TO ENSURE THAT THE REQUIRED PLANTINGS ARE PROPERLY MAINTAINED. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED PROMPTLY BY THE PROPERTY OWNER AND REPLACED AT THE NEXT GROWING SEASON.



| POST-CONSTRUCTION SOIL CONDITION   | MINIMUM WIDTH PREPARED SOIL FOR TREES                            | TYPE OF PREPARATION  |
|--|--|--|
| GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)                   | 6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER. | LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS.  |
| COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)     | 15 FEET  | LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS, ADD COMPOSTED ORGANIC MATERIAL UP TO 5% DRY WEIGHT.  |
| GRADED SUBSOILS AND CLEAN FILL WITH CLAY CONTENT BETWEEN 5% TO 35%                     | 20 FEET  | MINIMUM TREATMENT: LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS AND UNDER MINIMUM WIDTHS, ADD COMPOSTED ORGANIC MATERIAL TO BRING ORGANIC MATERIAL UP TO 5% DRY WEIGHT.<br>OPTIMUM TREATMENT: REMOVE TOP 8-10 INCHES OR THE EXISTING SOIL WIDTHS AND DEPTHS AS INSTRUCTED, ADD 8-10 INCHES OF PREPARED LOAM TOPSOIL. |
| POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL | 20 FEET  | REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL. ADD PREPARED LOAM TOPSOIL TO FILL AREA.   |



1. DETAILS ON THIS SHEET APPLY ONLY TO PLANTING SPACES LARGER THAN 8 FEET SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

STAKE TREES UNDER 2 1/2" CALIPER W/14 GAUGE WIRE GUY TREES OVER 2 1/2" CALIPER W/ 12 GAUGE WIRE ALL STAKES TO BE INSTALLED OUTSIDE OF  
ROOT BALL WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:

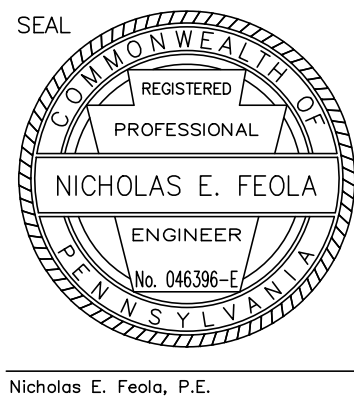
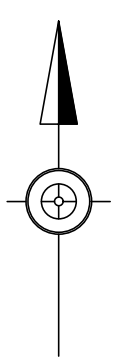
| STAKE TYPE   | WIRE/CABLE SIZE |
|--|-----------------|
| TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO<br>TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO | 14 GAUGE WIRE   |
| TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO   | 12 GAUGE WIRE   |

ONE ON DOWNHILL SIDE  
TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

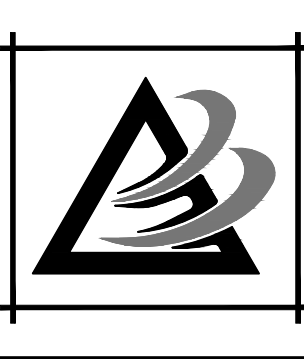
3. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

4. SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS. PLANT TREES SUCH THAT THE TUNK FLARE IS VISIBLE. TRUNK DO NOT COVER TOP OF ROOT BALL WITH SOIL. DO NOT APPLY MULCH IN CONTACT WITH TRUNK.

|     |   |         |
|-----|---|---------|
|     |   |         |
|     |   |         |
|     |   |         |
|     |   |         |
| 1   | REVISED PER TOWNSHIP & CONSULTANT REVIEWS | 2/16/23 |
| NO. | REVISION                                  | DATE    |
|     |   | BY      |



|         |        |                 |
|---------|--------|-----------------|
| MANAGER |        | KRK _____       |
| DESIGN  | KRK    | CHKD. BY        |
| DRAFT   | STA    | CHKD. BY        |
| FILE    | MOS-02 | DATE<br>8/27/21 |
| NOTES   |        | SCALE           |



**BURSICH**  
ASSOCIATES  
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2129 EAST HIGH STREET  
POTTSTOWN, PA 19464  
610.323.4040

www.bursich.com

CLIENT

AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT

## CONSTRUCTION DETAILS

# MOSCARIELLO AT FUTURA DRIVE

LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

208152.00

SHEET NO.

17 OF 19

DWG. NO

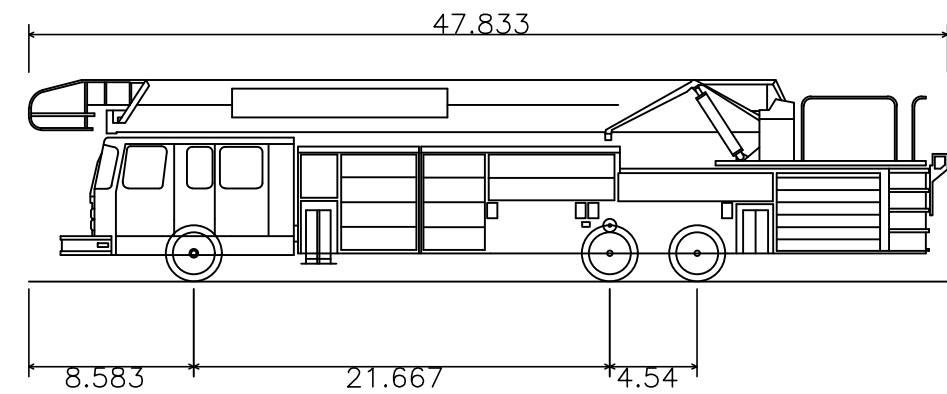
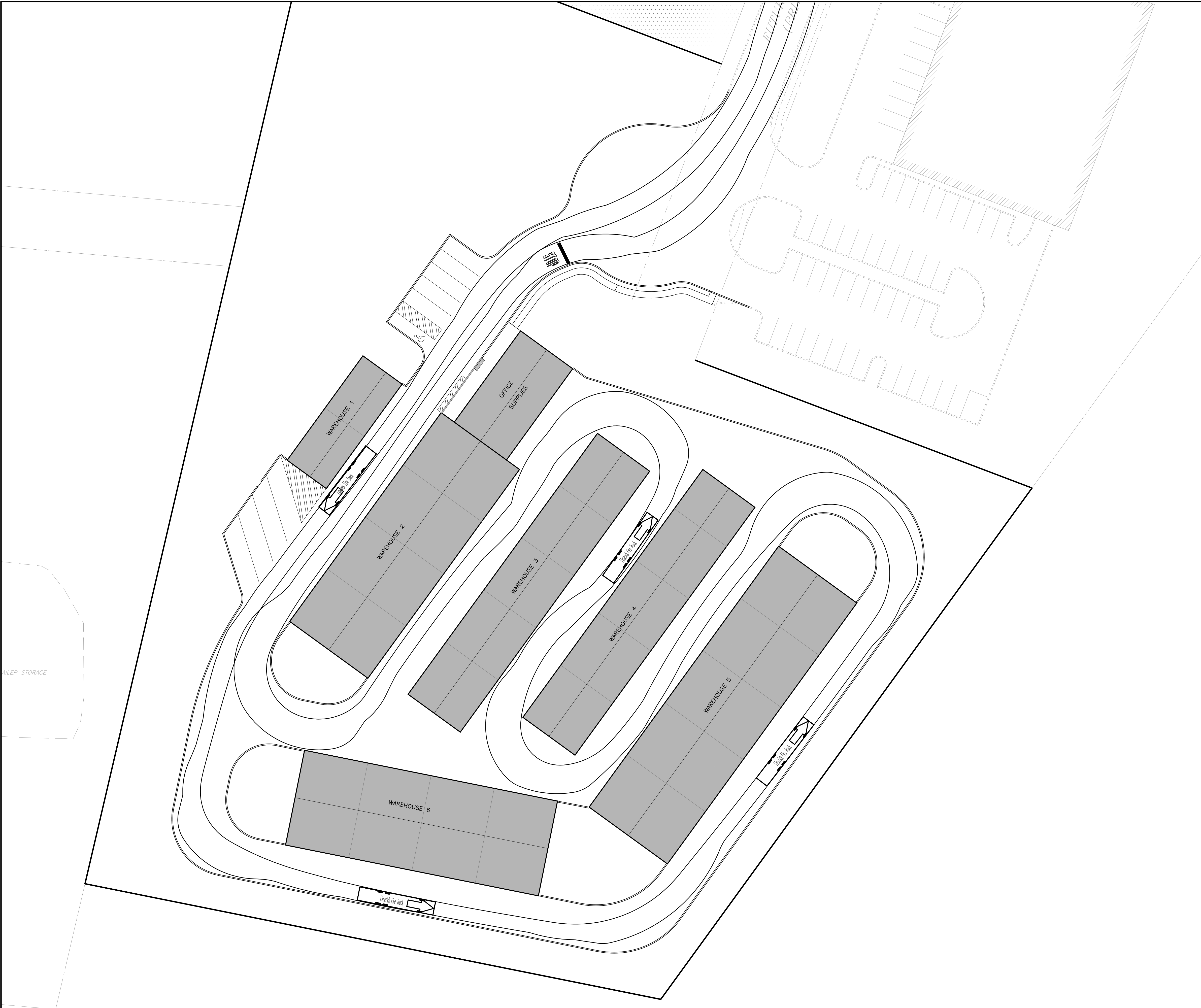
CD308152





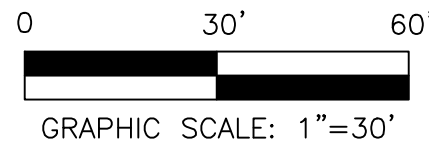


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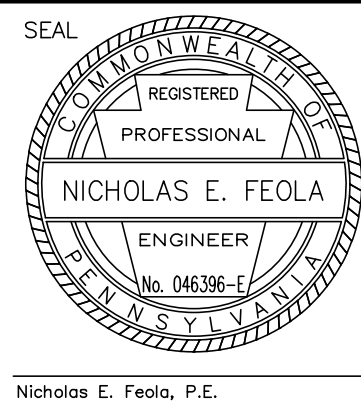
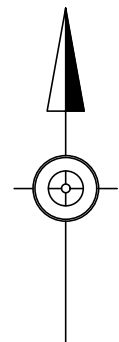


Limerick Fire Truck  
Overall Length 47.833ft  
Overall Width 8.333ft  
Overall Body Height 10.489ft  
Min Body Ground Clearance 0.920ft  
Track Width 8.330ft  
Lock-to-lock time 6.00s  
Max Wheel Angle 45.00°

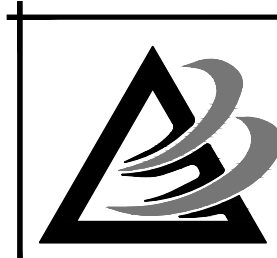
**FIRE TRUCK DIMENSIONS DETAIL**



| NO. | REVISION                                  | DATE    | BY  |
|-----|---|---------|-----|
| 1   | REVISED PER TOWNSHIP & CONSULTANT REVIEWS | 2/16/23 | DPC |



|         |               |
|---------|---------------|
| MANAGER | KRK           |
| DESIGN  | KRK           |
| DRAFT   | STA           |
| FILE    | MOS-02        |
| NOTES   | DATE 8/27/21  |
|         | SCALE 1"= 30' |



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CLIENT  
**AMERICO P. MOSCARIELLO**  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
**TRUCK TURNING PLAN**  
**MOSCARIELLO AT FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
208152.00  
SHEET NO.  
19 OF 19  
DWG. NO.  
TT108152