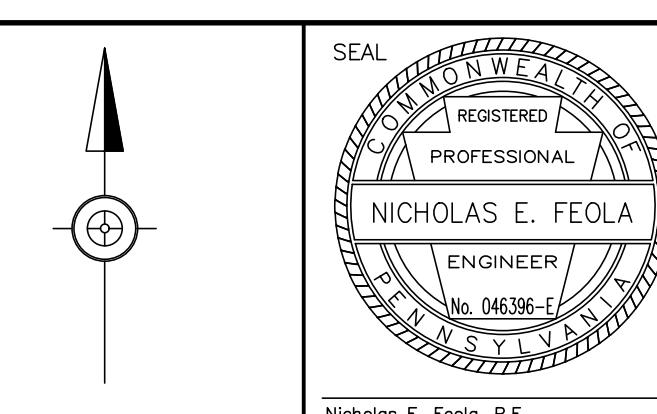


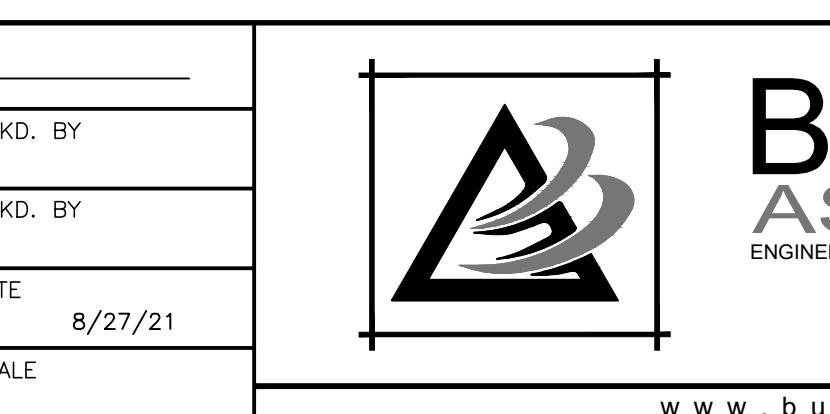


1	REVISED PER TOWNSHIP & CONSULTANT REVIEWS	2/16/23	DPC
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NOTES	SCALE

Nicholas E. Feola, P.E.



**BURSICH**  
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ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS  
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CLIENT  
AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
GENERAL NOTES  
RECORD PLAN 2 OF 6  
**MOSCARIELLO AT  
FUTURA DRIVE**  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
**208152.00**  
SHEET NO.  
**2 OF 19**  
DWG. NO.  
**GN108152**

#### GENERAL NOTES:

1. BOUNDARY INFORMATION COMPILED FROM ACTUAL FIELD SURVEY BY BURSICH ASSOCIATES, INC. PERFORMED IN DECEMBER 2020. PROPERTY MONUMENTATION WAS SET.
2. TOPOGRAPHIC INFORMATION COMPILED FROM FIELD SURVEY BY BURSICH ASSOCIATES, INC., PERFORMED IN DECEMBER 2020, AND AUGMENTED BY LIDAR TOPOGRAPHY FOR OFF-SITE TOPOGRAPHY AND AVAILABLE ON-LINE AERIAL MAPPING SOURCES.
3. HORIZONTAL DATUM BASE NAD 83, PA SPC SOUTH. VERTICAL DATUM BASE NAVD 88.
4. SOURCE OF TITLE: BEING THE SAME PREMISES WHICH AHV PROPERTIES BY DEED DATED AUGUST 25, 2020 AND RECORDED IN MONTGOMERY COUNTY COURTHOUSE IN DEED BOOK 6191, PAGE 061, CONVEYED UNTO AMERICO P. MOSCARIELLO.
5. THE BOUNDARY SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT.
6. REFERENCE PLAN: PLAN FOR RIDGE PIKE TRACT, PREPARED FOR AHV PROPERTIES BY BURSICH ASSOCIATES, INC., DRAWING NUMBER LO132608, DATED FEBRUARY 10, 1994 AND LAST REVISED JANUARY 12, 1996.
7. THE PENNSYLVANIA ONE CALL PER ACT 172 SERIAL NUMBER IS 2020-337-1811, DATED DECEMBER 2, 2020.
8. THIS PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON FEMA FIRM MAP NO. 42091C0202G AND NO. 42091C0210G, EFFECTIVE DATES MARCH 2, 2016.
9. A SEARCH WAS CONDUCTED ON FEBRUARY 15, 2021 REGARDING THE PRESENCE OF THREATENED AND ENDANGERED SPECIES AND/OR SPECIAL CONCERN SPECIES AND RESOURCES WITHIN THE SUBJECT TRACT FROM THE NATURAL RESOURCES PENNSYLVANIA NATURAL HERITAGE PROGRAM (PHNP). THE RECEIPT FOR THE PROJECT SEARCH PNPD- PHNP RESPONDED "NO KNOWN IMPACTS" WERE ENCOUNTERED AND NO FURTHER REVIEW REQUIRED.
10. SOILS INFORMATION SHOWN FROM INFORMATION CONTAINED ON THE USDA-NRCS WEB SOIL SURVEY.
11. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
12. THIS PLAT IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BURSICH ASSOCIATES, INC. WAS CONTRACTED TO PERFORM, EXCEPT ANY RECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BURSICH.
13. IT IS NOT THE INTENT OF THIS PLAN TO ILLUSTRATE ANY SUBSURFACE CONDITIONS SHOULD THEY EXIST, I.E. BURIED TANKS, SEEPAGE BEDS, TILE FIELDS, ETC.
14. IMPROVEMENT CONSTRUCTION REQUIREMENTS WILL BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS CONSISTENT WITH THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE MONTGOMERY COUNTY CONSERVATION DISTRICT, OR OTHER APPROPRIATE AGENCIES, OR THE SPECIFICATIONS INCLUDED WITHIN THE LIMERICK TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, CHAPTER 155, WHICHEVER SPECIFICATIONS SHALL RESULT IN THE MORE STRINGENT REQUIREMENTS BEING APPLIED TO THE APPLICANT.
15. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
16. PROJECT TO BE SERVED BY AN ON-LOT SEWAGE HOLDING TANK AND WATER WELL.
17. THE STORMWATER FACILITIES INCLUDING THE DETENTION BASIN, INFILTRATION BASINS AND APPURTENANCES, SWALES, ETC. SHALL BE OPERATED AND MAINTAINED IN GOOD WORKING CONDITION BY THE PROPERTY OWNER. LIMERICK TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME. IF THE FACILITIES ARE NOT IN PROPER MAINTENANCE OR HAVE BEEN REMOVED OR ALTERED, THE TOWNSHIP CAN REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION OR MAINTENANCE. THE TOWNSHIP MAY LIEN ALL COSTS OF ANY NECESSARY REMEDIAL OR MAINTENANCE WORK AGAINST THE PROPERTY OF THE ENTITY RESPONSIBLE FOR THE MAINTENANCE.
18. A BLANKET EASEMENT IS OFFERED TO LIMERICK TOWNSHIP FOR ACCESS TO ALL STORMWATER BEST MANAGEMENT PRACTICE FACILITIES.
19. ALL PROPOSED FACILITIES SHALL COMPLY WITH "THE AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" AND "THE PENNSYLVANIA UNIVERSAL ACCESSIBILITY ACT".
20. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAW AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNFIT MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
21. THE PERMANENT REMOVAL OF MORE THAN 50% OF THE EXISTING TOPSOIL IS PROHIBITED WITHOUT OBTAINING A CONDITIONAL PERMIT FROM THE TOWNSHIP ENGINEER IN ACCORDANCE WITH CHAPTER 151 STORMWATER MANAGEMENT, SECTION 151-1.C.(3).
22. DURING GRADING OPERATIONS NECESSARY MEASURES FOR DUST CONTROL WILL BE IMPLEMENTED.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
24. HANDICAP ACCESSIBILITY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST CURRENT VERSION OF PENNDOCS PUBLICATION 72M, RC 67 SERIES.
25. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
26. FOR RETAINING WALLS GREATER THAN 30 INCHES IN HEIGHT OR HAVE A SURFACE CONSTRUCTION DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN PENNSYLVANIA SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF THE WALLS.
27. NO TRASH DUMPSTERS ARE PROPOSED FOR THIS SITE DEVELOPMENT FOR USE BY THE PUBLIC. ANY FUTURE REFUSE COLLECTION FACILITIES SHALL OBTAIN APPROVAL FROM THE TOWNSHIP AND COMPLY WITH THE REQUIREMENTS IN ZONING ORDINANCE SECTION 184-66 FOR ZONING AND THE LANDSCAPING REQUIREMENTS IN THE SUBDIVISION AND LAND DEVELOPMENT CODE, CHAPTER 155.
28. THIS PROJECT FALLS BELOW THE VERTICAL ZONE (ELEVATION 354) OF THE POTTSVILLE-LIMERICK AIRPORT.
29. THE TOWNSHIP ENGINEER OR DESIGNATED PERSON SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION OPERATION, IN ORDER THAT PROVISION MAY BE MADE FOR THE INSPECTION BY THE TOWNSHIP.
30. THE PROPOSED STORMWATER BEST MANAGEMENT PRACTICES SHALL BE PRIVATELY OWNED AND MAINTAINED AND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER IN ACCORDANCE WITH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE 151-31.C.(2).
31. ANY DRAIN OR CONVEYANCE, WHETHER ON THE SURFACE OR SUBSURFACE, WHICH ALLOWS ANY NON-STORMWATER DISCHARGE, INCLUDING SEWAGE, PROCESS WASTEWATER, AND WASH WATER TO ENTER THE SEPARATE STORM SEWER SYSTEM AND ANY CONNECTIONS TO THE MUNICIPAL STORM DRAIN SYSTEM FROM INDOOR DRAINS AND SINKS IS PROHIBITED.
32. LIMERICK TOWNSHIP IS GRANTED A BLANKET EASEMENT FOR ACCESS WITHIN THE SITE FOR EMERGENCY PURPOSES.
33. CONSTRUCTION OF THE PROPOSED DOMESTIC WATER WELL AND CONNECTION TO THE BUILDING SHALL ADHERE TO LOCAL AND STATE CODES.
34. THE PROPOSED METHOD OF WASTEWATER TREATMENT AND DISPOSAL IS AN ON-SITE HOLDING TANK WITH PUMPING AND HAULING BY A LICENSED HAULER FOR DISPOSAL AT A DEP APPROVED FACILITY.

#### GRADING & UTILITY GENERAL NOTES:

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS IN THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND UNSUITABLE MATERIAL AND REPLACING WITH SUITABLE MATERIAL. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPAKTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT BE MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A SOIL ENGINEER, REGISTERED WITH STATE, WHICH WILL VERIFY THE WORK IS BEING DONE, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN ANY BOUNDARY PAD AND AREAS TO BE PAVED HAVE BEEN COMPAKTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR PAVING SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBGRADE SHALL BE REMOVED AND FILLED WITH MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
3. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE BOTTOM FACE OF CURB OR TOP OF FINISHED PAVING UNLESS OTHERWISE NOTED.
4. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2 PERCENT AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1 PERCENT. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE (22 MIN.) IN ALL PROPOSED GRASS AREAS AWAY FROM ALL STRUCTURES.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING UNITS. SLOPES AND SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE SHALL BE IN ACCORDANCE WITH BUILDING CODE OR A MINIMUM SLOPE OF 2%, AND MINIMUM SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE OF 8-INCHES, WHICHEVER CONTROLS.
6. THE CONTRACTOR SHALL COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST STANDARDS OF OSHA OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD INSPECTION. UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT THE EXISTING USERS OF THESE UTILITIES.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DOCUMENTS FOR ACTUAL LOCATIONS OF ALL CONNECTION LOCATIONS TO INCLUDE SANITARY SEWER LATERALS, WATER SERVICES, ELECTRICAL, TELEPHONE, GAS, AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
9. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.
10. ALL UTILITIES SHALL BE PLACED UNDERGROUND. CONSTRUCTION OF UTILITIES SHALL BE TO THE PROPER STANDARDS OF THE APPLICABLE UTILITY AUTHORITY.
11. ALL SANITARY SEWER FACILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.E.P. STANDARD SPECIFICATIONS AND DETAILS.
12. ALL WATER FACILITIES SHALL BE CONSTRUCTED ACCORDING TO D.E.P. REQUIREMENTS, STANDARD SPECIFICATIONS AND DETAILS.
13. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF TEN FEET BETWEEN SANITARY SEWER SERVICES AND WATER SERVICES. PROVIDE A MINIMUM FIVE FOOT HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER SERVICES AND ALL OTHER UTILITIES.

#### STORM SEWER NOTES:

1. STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MUNICIPAL, COUNTY, PADEP, AND PENNDOT STANDARDS AND REGULATIONS AS APPLICABLE.
2. WHEN REINFORCED CONCRETE STORM PIPE (RCP) IS SPECIFIED ON THE PLANS, IT SHALL HAVE RUBBER O-RING GASKETS, AND COMPLY WITH ASTM C76 STANDARDS FOR CLASS III WALL B PIPE, UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED, IT SHALL BE SMOOTH LINED CORRUGATED PIPE AND CONFORM TO AASHTO M294 AND TYPE S, WITH GASKET FOR SOIL TIGHT JOINT, UNLESS OTHERWISE NOTED, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. STORM SEWER INLETS, MANHOLES, HEADWALLS AND ENDWALLS SHALL BE IN ACCORDANCE WITH PENNDOT'S ROADWAY STANDARD CONSTRUCTION DRAWINGS RC-72M, LATEST REVISION AND PUBLICATION 408 SPECIFICATIONS, LATEST REVISION.
5. ALL INLETS SHALL BE FURNISHED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES.
6. STORM SEWER MANHOLES SHALL BE FABRICATED OF REINFORCED CONCRETE EXCEPT WHERE OTHERWISE NOTED. ALL STRUCTURES SHALL BE DESIGNED FOR HS-25 HIGHWAY LOADING.
7. STORM INLETS WHEN SPECIFIED WITH WATER QUALITY INSERTS SHALL BE PROVIDED WITH THE REQUIRED SUMP DEPTH TO INSTALL THE SNOOT OR APPROVED EQUAL HOD IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
8. PIPE LENGTHS SHOWN ARE COMPUTED FROM THE CENTER OF STRUCTURE TO THE CENTER OF STRUCTURE.
9. GRATE ELEVATIONS FOR INLETS ALONG CURBS ARE COMPUTED TO THE CENTER OF THE INLET AT GUTTERLINE.
10. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIMENSIONS.
11. ALL STORM CONNECTIONS TO EXISTING PIPE TO BE REPLACED SHALL BE RECONNECTED TO THE NEW PIPE WITH A SADDLE TEE OR FITTING.
12. EXISTING INLETS AND STORM SEWERS INDICATED AS FILLED WITH DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND STORM PIPES SHALL BE CHECKED FOR SILT AND DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.

#### STEEP SLOPES NOTE:

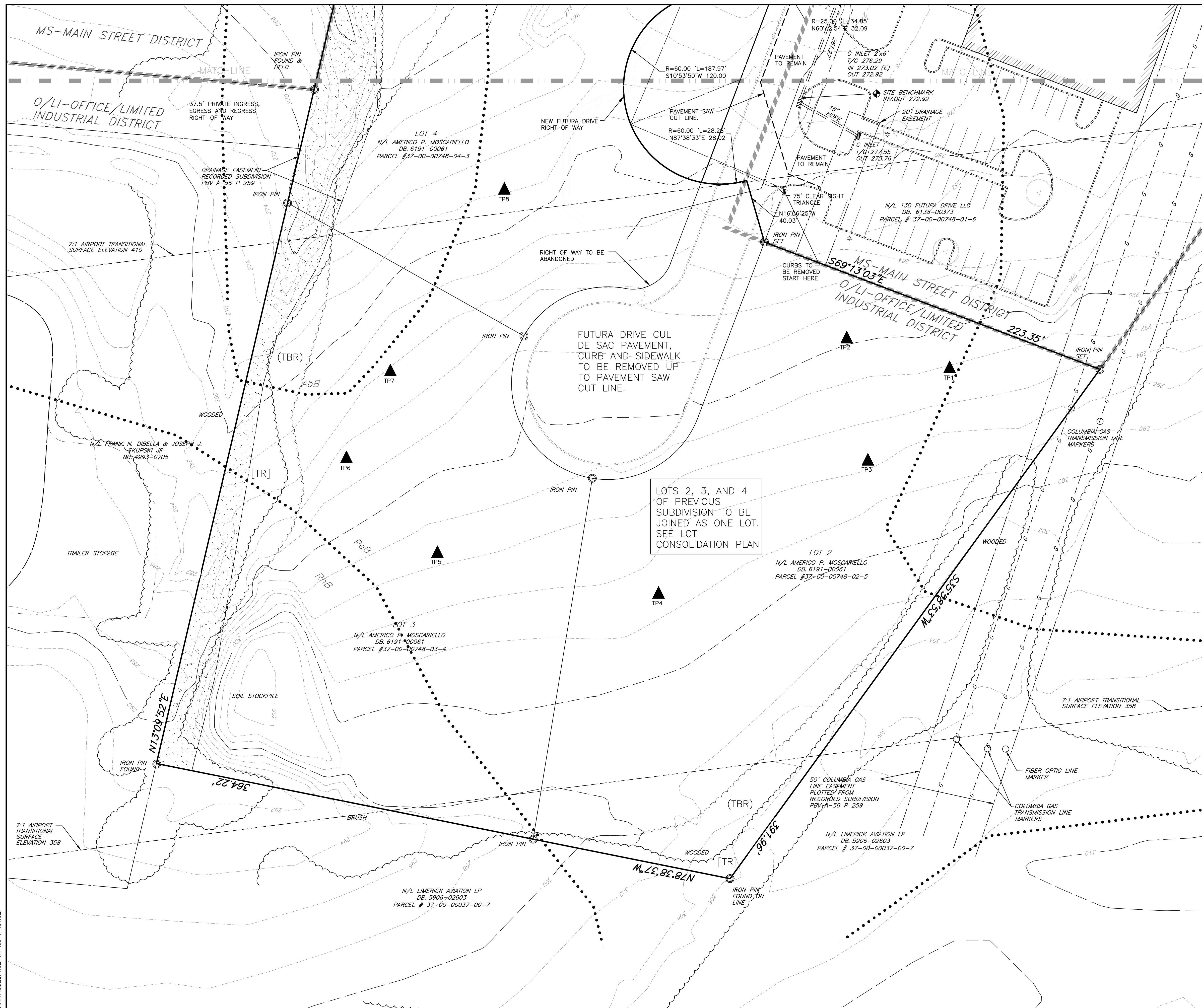
1. NO STEEP SLOPES OF GREATER THAN 15% ARE PRESENT ON SITE PER USGS 7.5-MINUTE PHOENIXVILLE, 2019 QUADRANGLE MAP, NCA REF. NO.: USGSX24K34992 AS DEFINED IN LIMERICK TOWNSHIP ZONING ORDINANCE SECTION 184-81.

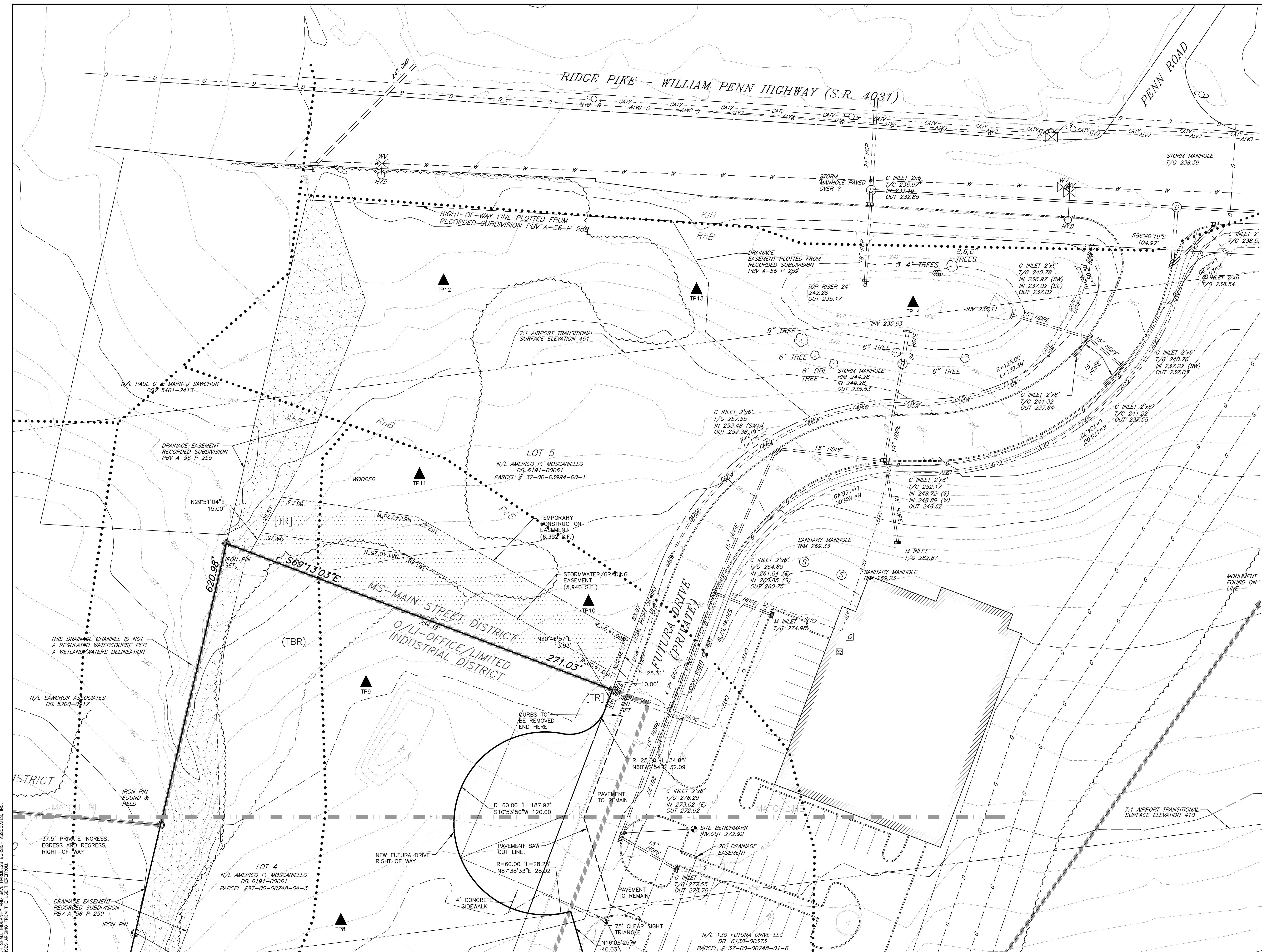








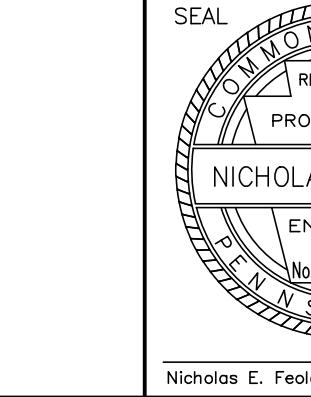
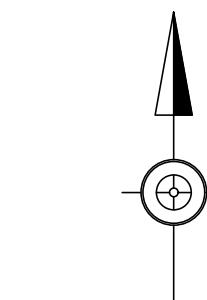




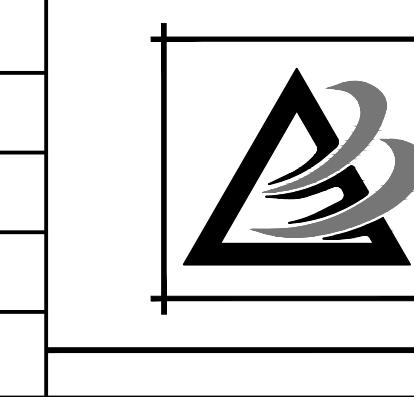
#### DEMOLITION NOTES

1. ALL DEMOLITION MAY BEGIN UPON RECEIPT OF ALL NECESSARY APPROVALS AND PERMITS FROM APPLICABLE GOVERNMENTAL REGULATORY AGENCIES. ALL DEMOLITION WORK SHALL BE PERFORMED BY A QUALIFIED, LICENSED CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PER ACT 287, AS AMENDED, NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS BEFORE COMMENCING DEMOLITION.
3. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHOD AND MEANS ARE TO BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY AREA FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC BE SAFE, CLEAN, AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. REFER TO THE EROSION & SEDIMENT CONTROL PLAN SHEETS FOR EROSION AND SEDIMENT CONTROL PROCEDURES.
6. THE CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY. DEMOLITION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIAL, CONCRETE WASTE, WATER, SANITARY WASTES, ETC. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSE KEEPING MATERIALS MANAGEMENT. CONTRACTOR SHALL WORK WITH THE PROPER DISPOSAL OF THESE MATERIALS. PREFERABLY, OTHER THAN DISPOSAL, DIRECT ALL PUMP DISCHARGES RESULTING FROM Dewatering OPERATIONS TO A SUITABLE FILTERING DEVICE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
7. SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC.) SHALL BE USED DURING DEMOLITION TO ENSURE THE SAFETY OF THE SURROUNDING PUBLIC.
8. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY AND ALL DEBRIS THAT MAY FALL ON THE ROADWAY OR SIDEWALKS, AND/OR MAY BE THROWN ON THE ROADWAY OR SIDEWALKS.
9. ALL STRUCTURES, PAVEMENT, SUBBASE AND MISCELLANEOUS ITEMS SHALL BE REMOVED IN THEIR ENTIRETY. SIDEWALKS ARE TO BE REMOVED TO THEIR EDGES. ALL OPEN EXCAVATION AS A RESULT OF DEMOLITION WORK (I.E. TRENCHES, AND UTILITY PIPING) SHALL BE BACKFILLED TO SURROUNDING GRADE LEVEL IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AFTER DEMOLITION IS COMPLETE.
10. ALL UTILITIES TO BE REMOVED SHALL BE CAPPED AND SEALED AS DIRECTED AND/OR REQUIRED BY THE UTILITY OWNER. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES ON SITE TO BE REMOVED. REFER TO ANY STAGING PLANS FOR TEMPORARY UTILITY CONNECTIONS.
11. UTILITY REMOVAL/ABANDONMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
  - A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TAKE APPROPRIATE STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY AND COST OF THE CONTRACTOR TO REPAIR AND/OR REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
  - B. CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL/ABANDONMENT.
  - C. REMOVAL/ABANDONMENT OF PRIVATE UTILITY COMPANY SERVICES TO BE IN ACCORDANCE WITH EACH RESPECTIVE UTILITY COMPANY STANDARD SPECIFICATIONS AND REQUIREMENTS OR THE FOLLOWING PROCEDURE, WHICHEVER IS MORE RESTRICTIVE:
  - D. ALL PIPES TO BE ABANDONED SHALL EITHER BE EXCAVATED, REMOVED, AND THE APPROVED TRENCH BACKFILLED WITH COARSE AGGREGATE MATERIAL OR ALTERNATE MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD, OR PIPE SHALL BE COMPLETED FILLED WITH FLOWABLE FILL/SAND AND THE ENDS SEALED WITH WATERPROOF GROUT.
- E. ALL STRUCTURES TO BE ABANDONED IN PLACE SHALL HAVE AT MINIMUM THE FIRST 5 FEET BELOW PROPOSED GRADE REMOVED. THE REMAINING STRUCTURE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL, CAPPED WITH A WATERPROOF CONCRETE COVER, AND SEALED WITH WATERPROOF GROUT FROM WHERE SITE CONTRACTOR REMOVES STRUCTURE. REMOVED ASSOCIATED PIPES SHALL BE FILLED WITH FLOWABLE FILL AND THE ENDS SEALED WITH WATERPROOF GROUT. THE CONTRACTOR SHALL FIELD VERIFY THE FLOW PATH OF ALL PIPES TO ENSURE PLUGGING PIPES WILL NOT ADVERSELY AFFECT DRAINAGE ON ANY ADJACENT ROADWAY OR PROPERTY.
12. PRIOR TO STARTING ANY CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE, FIELD VERIFY, AND EXCAVATE TEST HOLES, AS NECESSARY TO DETERMINE ACTUAL LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES WHERE PROPOSED UTILITIES, STRUCTURES OR OTHER WORK WILL CROSS EXISTING UTILITIES OR STRUCTURES. ANY DISPARANCIES OR CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH ANY WORK. PREPARE AND PROVIDE A SKETCH TO THE ENGINEER LEGIBLY RECORDING TYPE AND SIZE OF UNDERGROUND UTILITIES AND APPURTENANCES AND MEASURED HORIZONTAL AND VERTICAL LOCATIONS REFERENCED TO PERMANENT SITE IMPROVEMENTS.
13. TREES TO BE REMOVED SHALL INCLUDE THE REMOVAL OF AND DISPOSAL OF TREES AND STUMPS.

0 30' 60'  
GRAPHIC SCALE: 1" = 30'



MANAGER	KRK
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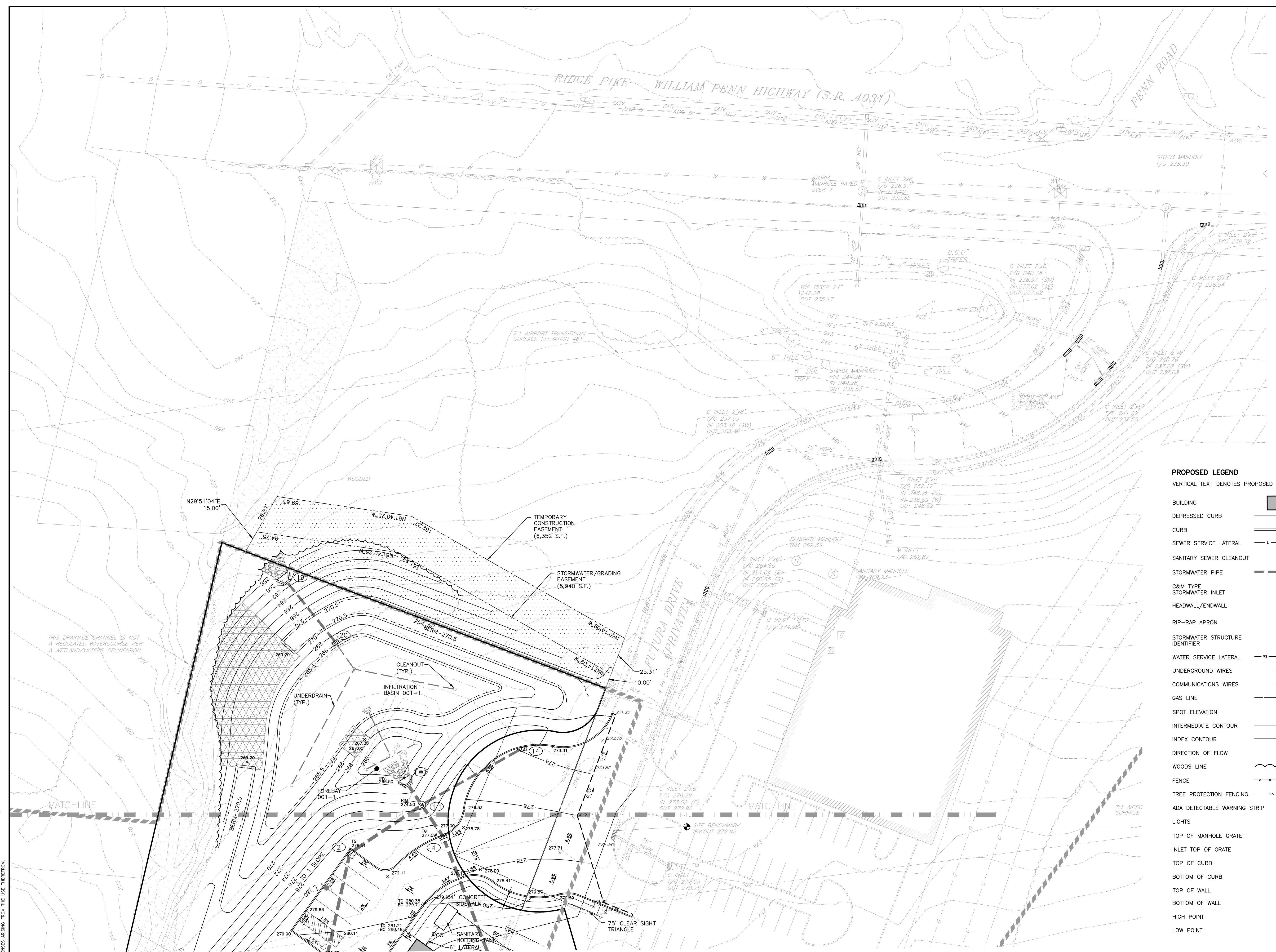


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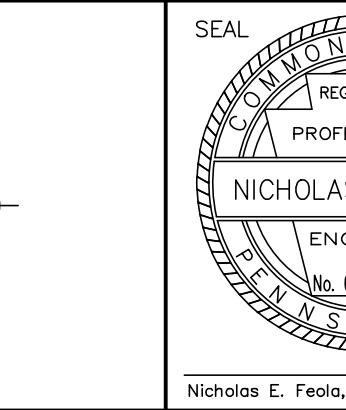
SUBJECT  
EXISTING RESOURCE AND SITE ANALYSIS MAP  
**MOSCARIELLO AT  
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DWG. NO.  
EC208152

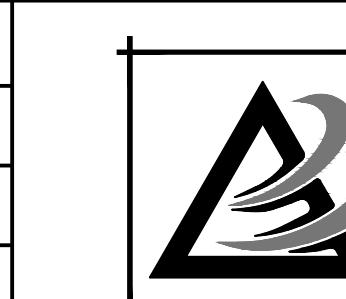




SUBJECT		JOB NO.	
GRADING & UTILITY PLAN		208152.00	
MOSCARIELLO AT FUTURA DRIVE		SHEET NO.	
		10 OF 19	
		DWG. NO.	GU208152
1	REVISED PER TOWNSHIP & CONSULTANT REVIEWS	DATE	2/16/23
NO.	REVISION	BY	DPC
1	NOTES	SCALE	1" = 30'



MANAGER KRK  
DESIGN KRK CHKD. BY  
DRAFT STA CHKD. BY  
FILE MOS-02 DATE 8/27/21  
NOTES SCALE 1" = 30'



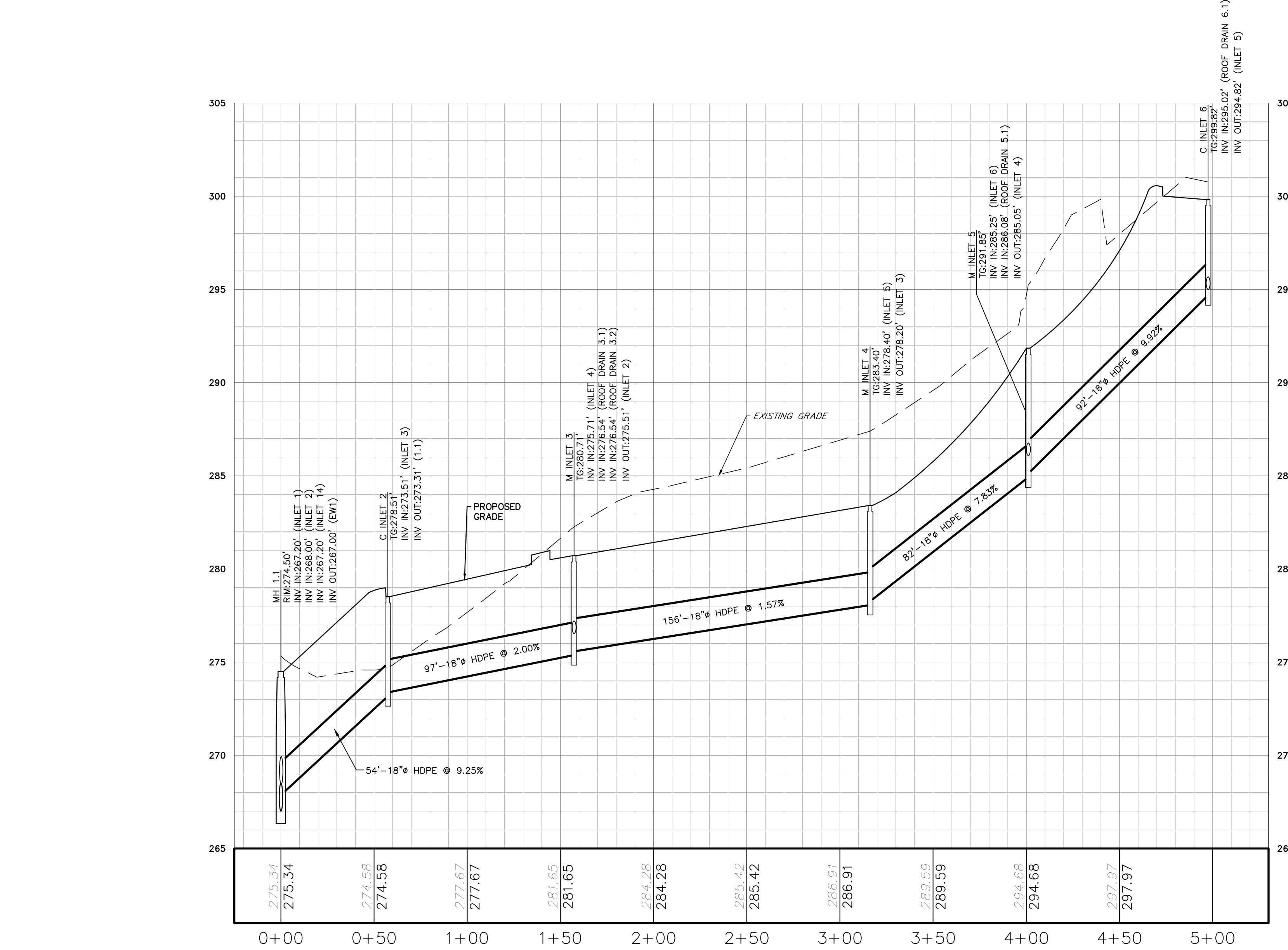
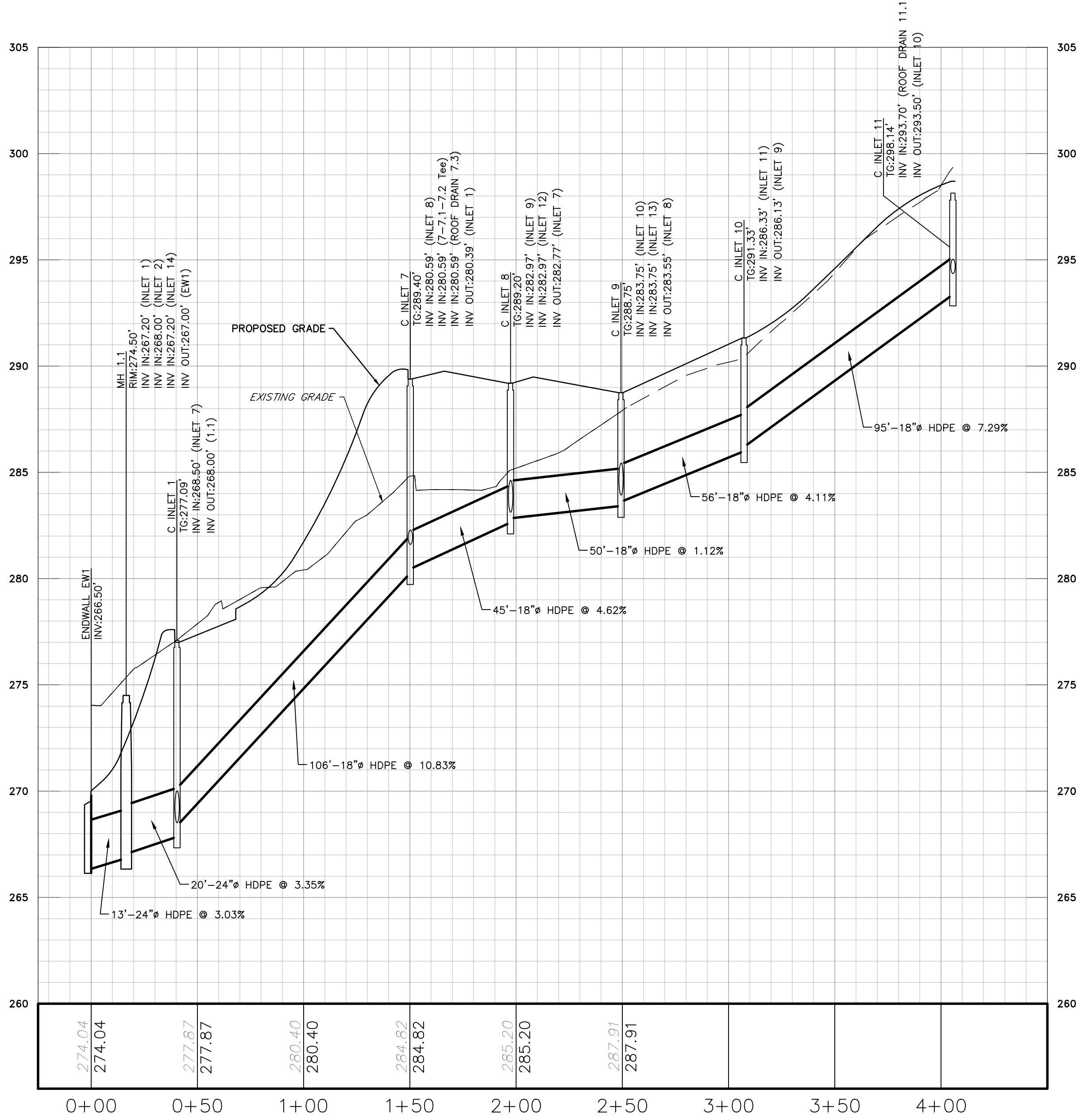
**BURSICH**  
ASSOCIATES  
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS  
2139 EAST HIGH STREET  
POTTSTOWN, PA 19464  
610.323.4040  
www.bursich.com

CLIENT  
AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

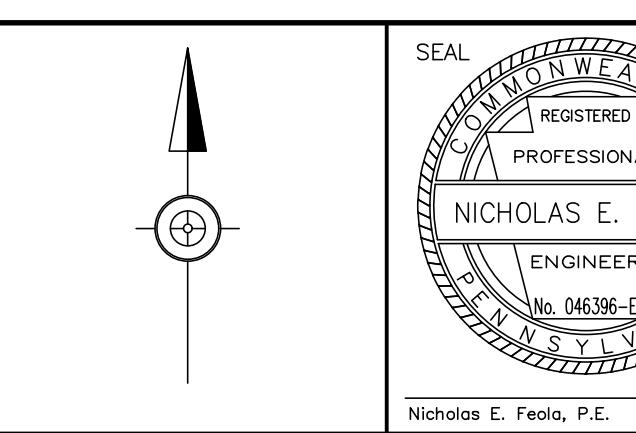
SUBJECT  
GRADING & UTILITY PLAN  
MOSCARIELLO AT  
FUTURA DRIVE  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA



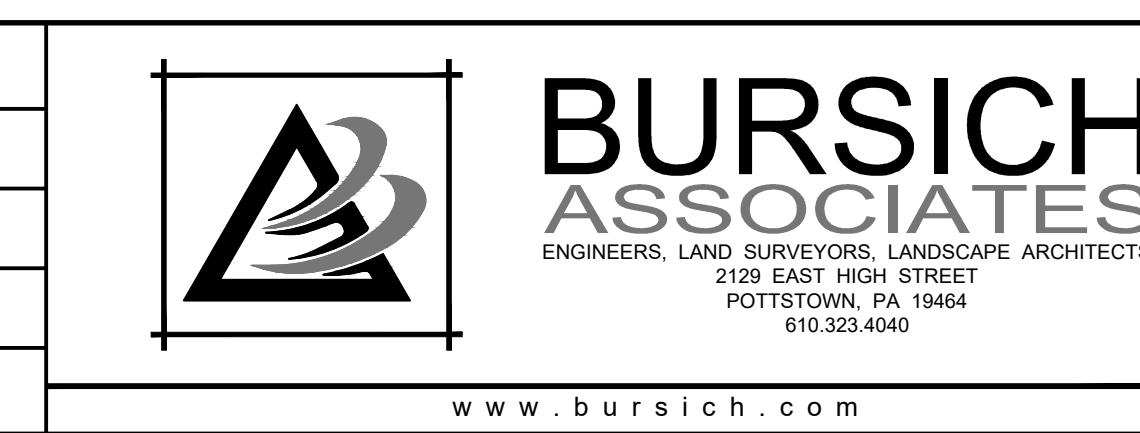




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NO.	REVISION	DATE	BY



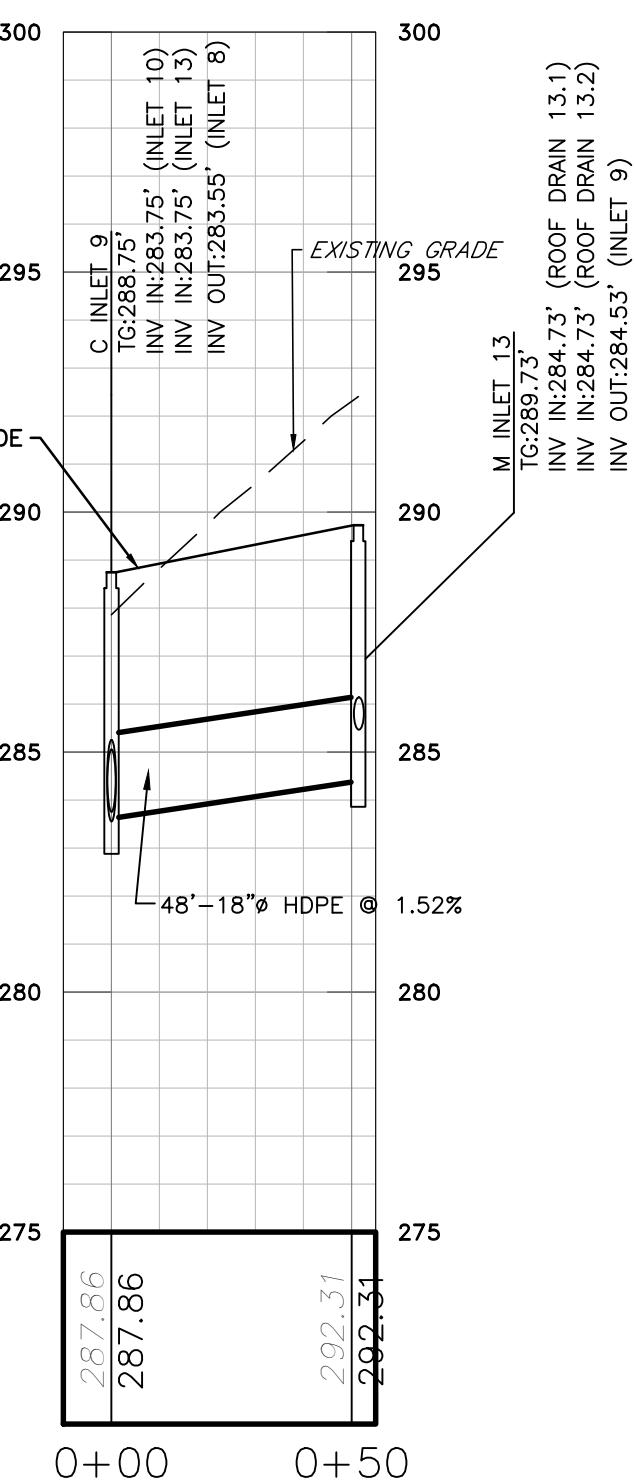
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DESIGN	KRK CHKD. BY
DRAFT	STA CHKD. BY
FILE	MOS-02 DATE 8/27/21
NOTES	SCALE



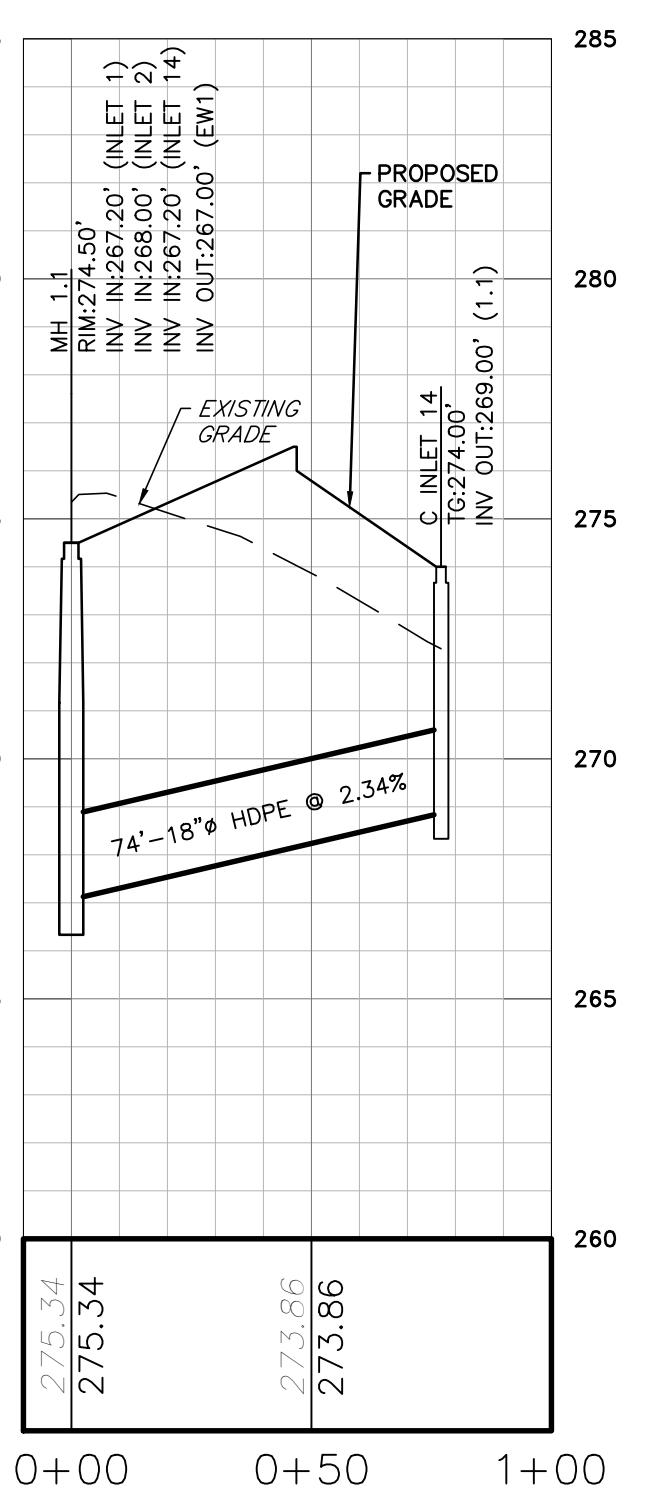
CLIENT  
AMERICO P. MOSCARIELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
DRAINAGE PROFILES  
MOSCARIELLO AT  
FUTURA DRIVE  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

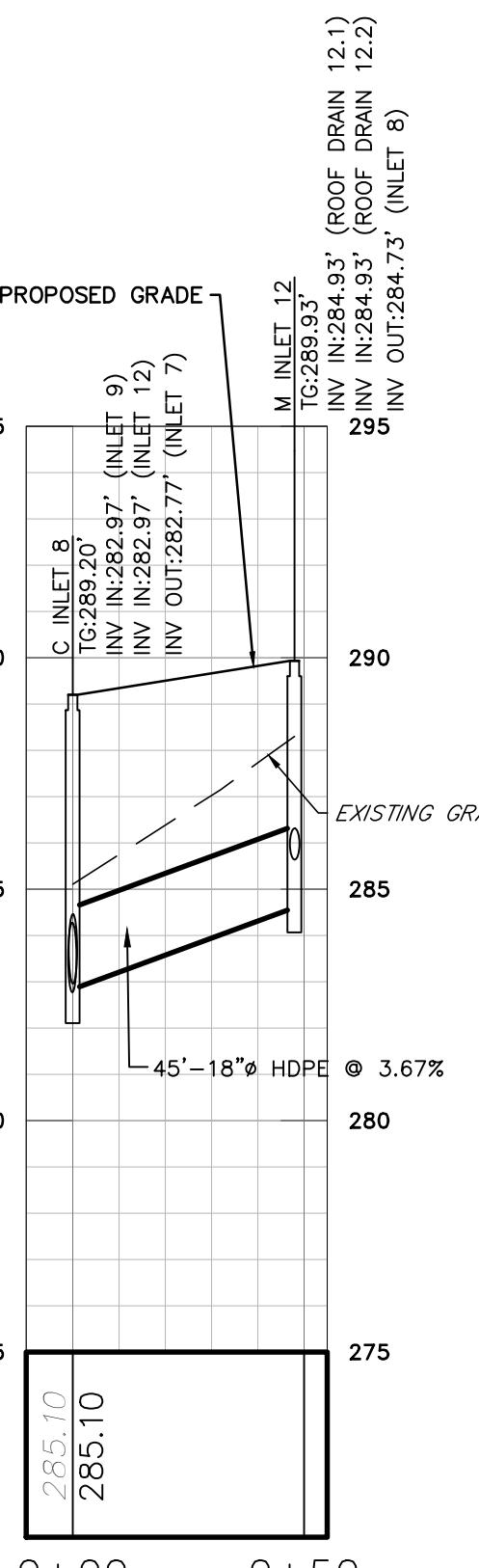
JOB NO. 208152.00  
SHEET NO. 13 OF 19  
DWG. NO. DP108152



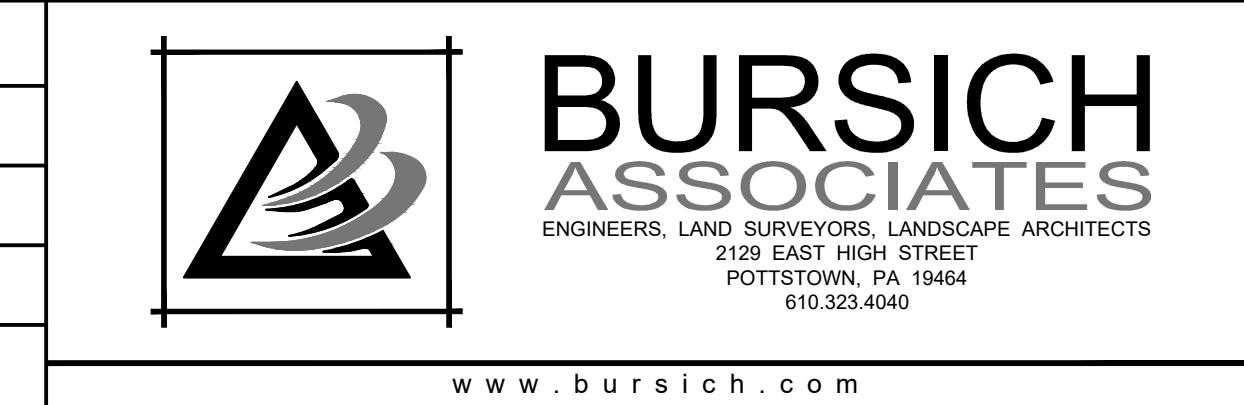
INLET 13 - INLET 9  
PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'



INLET 14 - STORM MH 1.1  
PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'



INLET 12 - INLET 8  
PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=4'

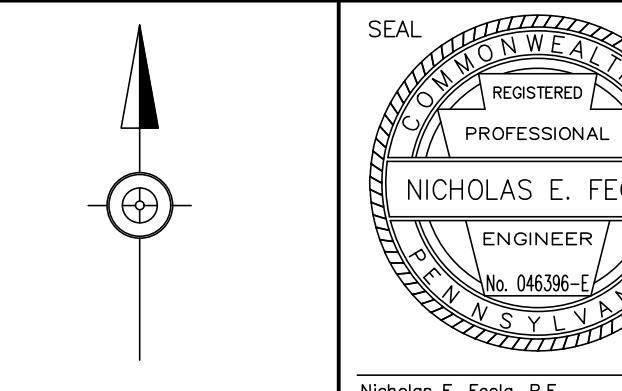


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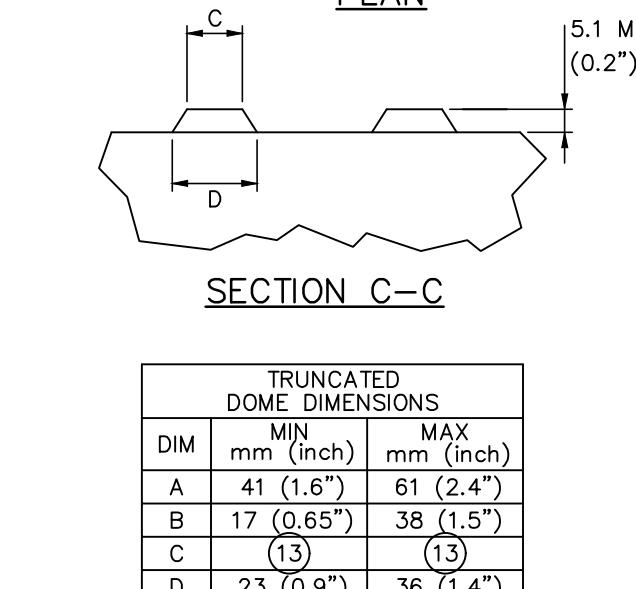
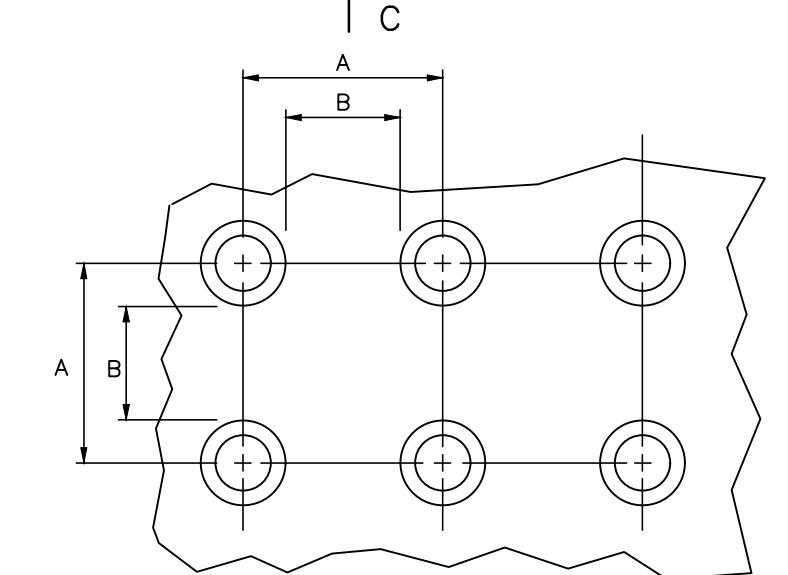
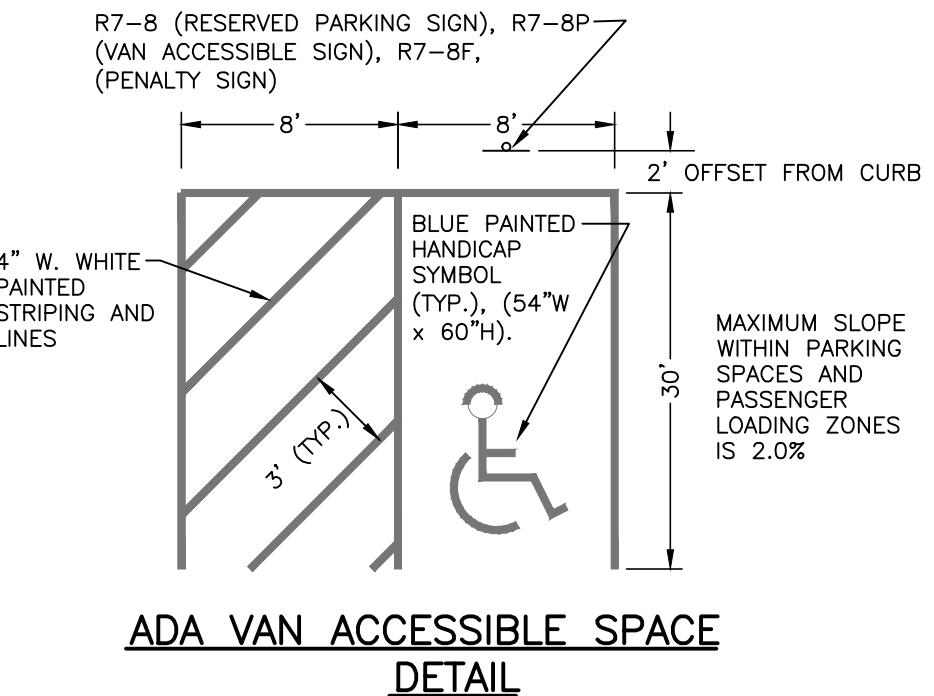
SUBJECT  
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JOB NO.  
208152.00  
SHEET NO.  
14 OF 19  
DWG. NO.  
DP208152

1	REVISED PER TOWNSHIP & CONSULTANT REVIEWS	2/16/23	DPC
NO.	REVISION	DATE	BY

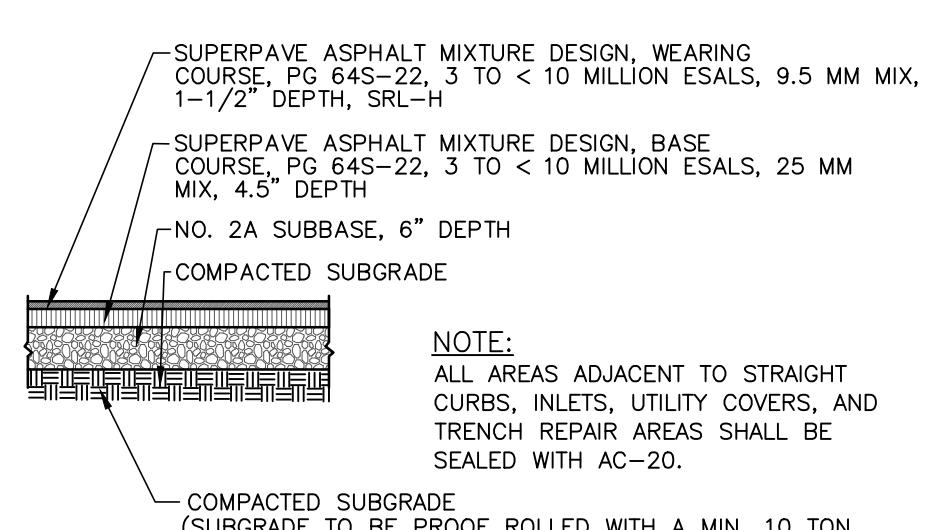
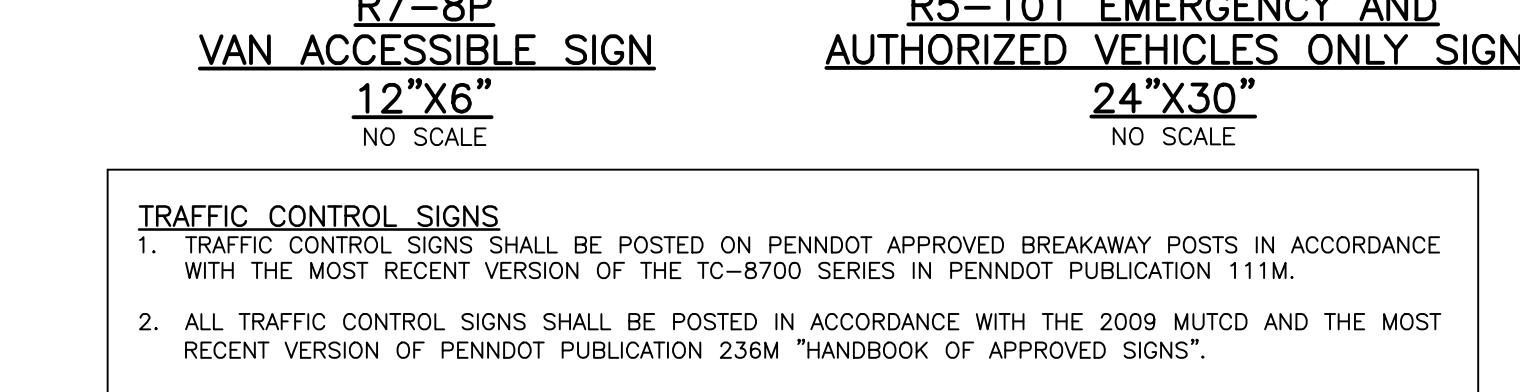
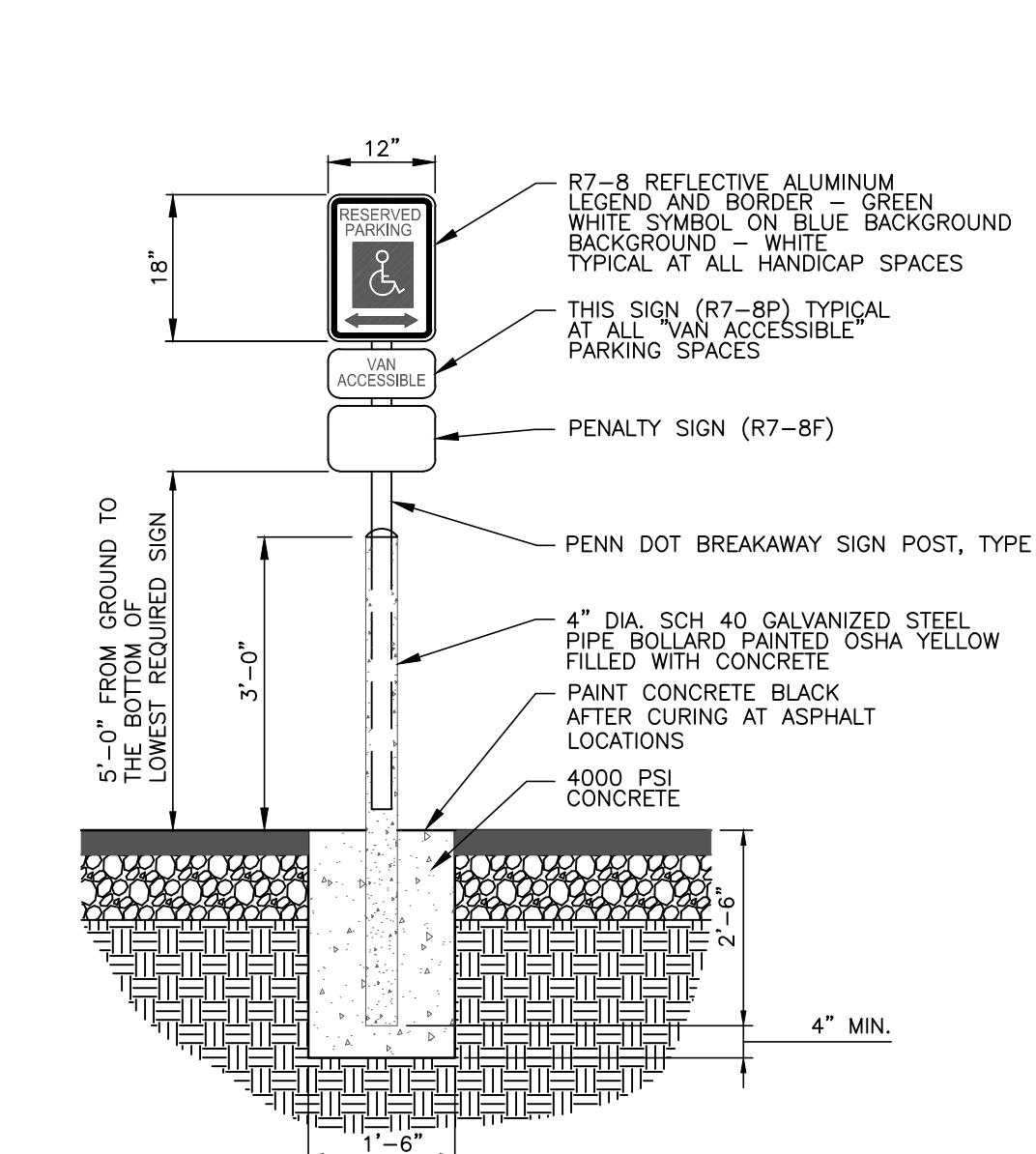
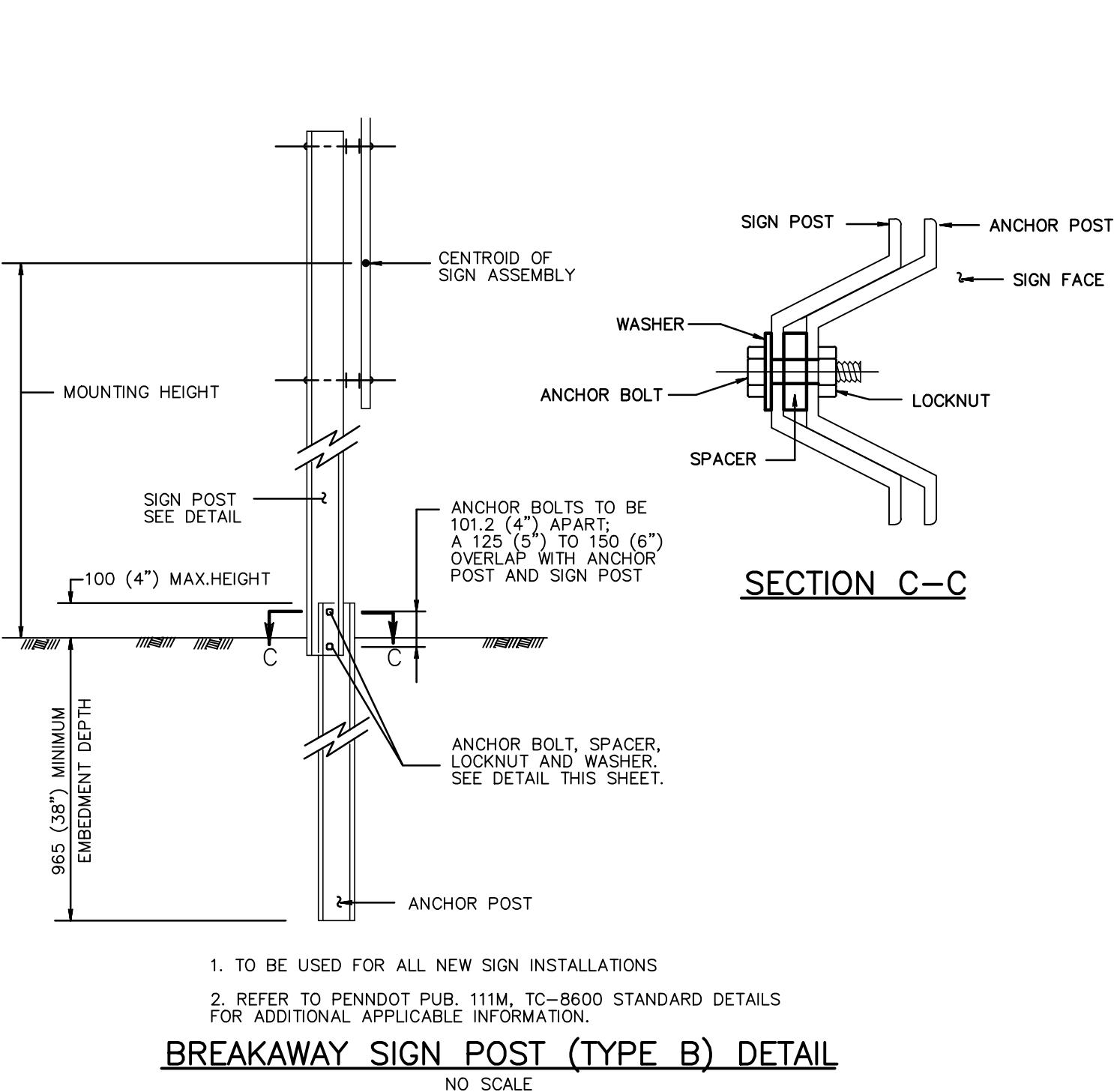
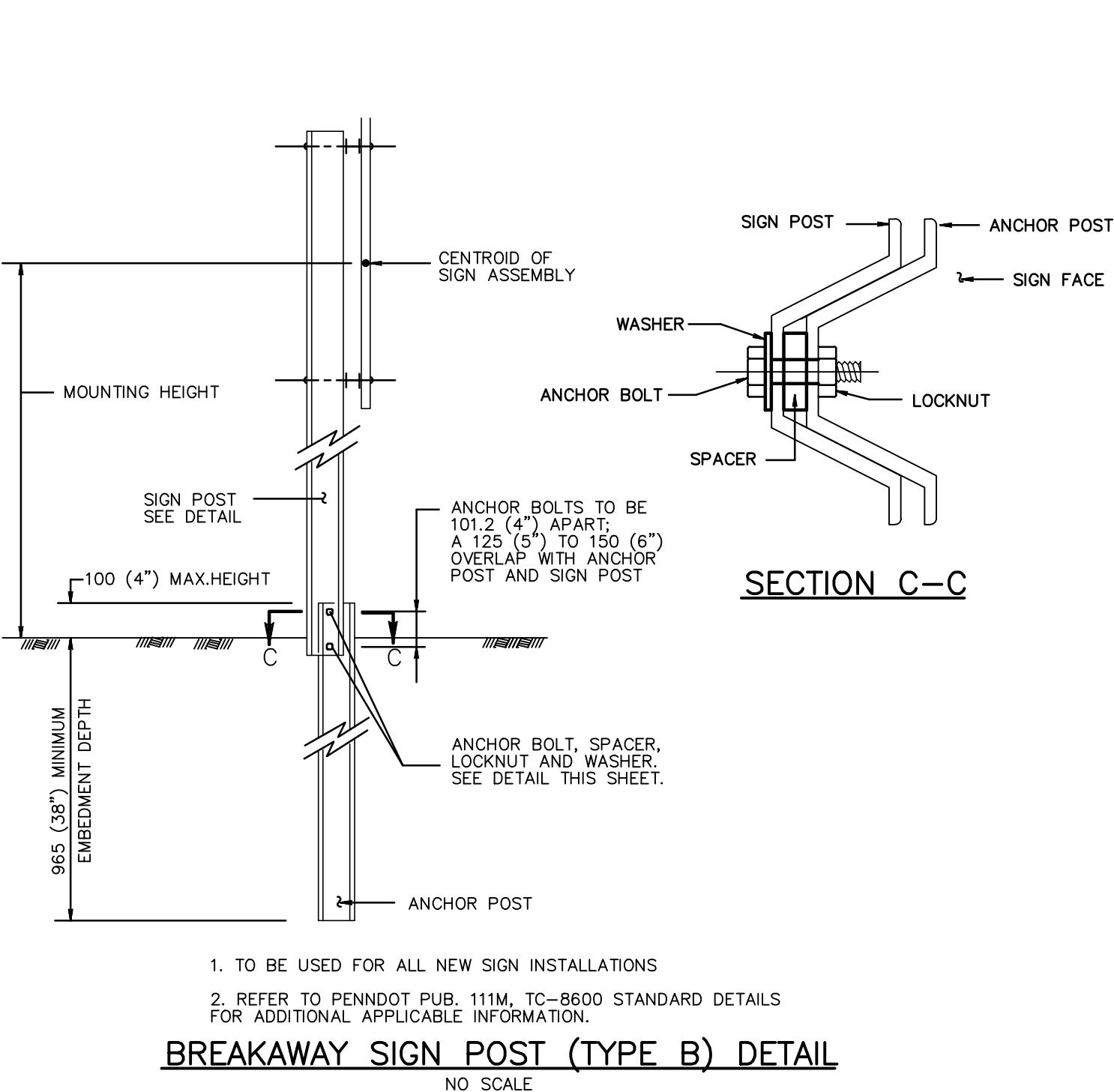


MANAGER	KRK _____
DESIGN	CHKD. BY
KRK	
DRAFT	CHKD. BY
STA	
FILE	DATE
MOS-02	8/27/21
NOTES	SCALE
Nicholas E. Feola, P.E.	



DETECTABLE WARNING SURFACE (DWS)  
TRUNCATED DOME DETAILS

(13) THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.



NOTES:  
1. ALL CONSTRUCTION AND DESIGN TO BE IN ACCORDANCE WITH LIMERICK TOWNSHIP SPECIFICATIONS.  
2. DO NOT PLACE BITUMINOUS PAVING MIXTURES BETWEEN OCTOBER 31 AND APRIL 1, UNLESS OTHERWISE PERMITTED IN WRITING BY THE TOWNSHIP ENGINEER.  
3. THE PAVEMENT THICKNESS IS BASED ON A "GOOD" SUBGRADE CLASS. CONTRACTOR TO PROVIDE "GOOD" COMPACTED SUBGRADE PRIOR TO AGGREGATE SUBBASE.

NOTE:  
ALL AREAS ADJACENT TO STRAIGHT CURBS, INLETS, UTILITY COVERS, AND TRENCH REPAIR AREAS SHALL BE SEALED WITH AC-20.

COMPACTED SUBGRADE (SUBGRADE TO BE PROOF ROLLED WITH A MIN. 10 TON STATIC WEIGHT 3 WHEEL SMOOTH POWER ROLLER)

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 3 TO <10 MILLION ESALS, 9.5 MM MIX, 1-1/2" DEPTH, SRL-H  
SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, 3 TO <10 MILLION ESALS, 25 MM MIX, 4.5" DEPTH  
NO. 2A SUBBASE, 6" DEPTH  
COMPACTED SUBGRADE

NOTE:  
ALL AREAS ADJACENT TO STRAIGHT CURBS, INLETS, UTILITY COVERS, AND TRENCH REPAIR AREAS SHALL BE SEALED WITH AC-20.

COMPACTED SUBGRADE (SUBGRADE TO BE PROOF ROLLED WITH A MIN. 10 TON STATIC WEIGHT 3 WHEEL SMOOTH POWER ROLLER)

NEAT SAWCUT OR MILL 1" OF EXIST. PAVEMENT SECTION, POWER BROOM, TACK COAT TIE-IN PROPOSED WEARING COURSE, & SEAL JOINT W/ EMULSIFIED ASPHALT

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PROF. PAVEN  
SECTION  
EXISTING SUBBASE  
EXISTING PAVEN  
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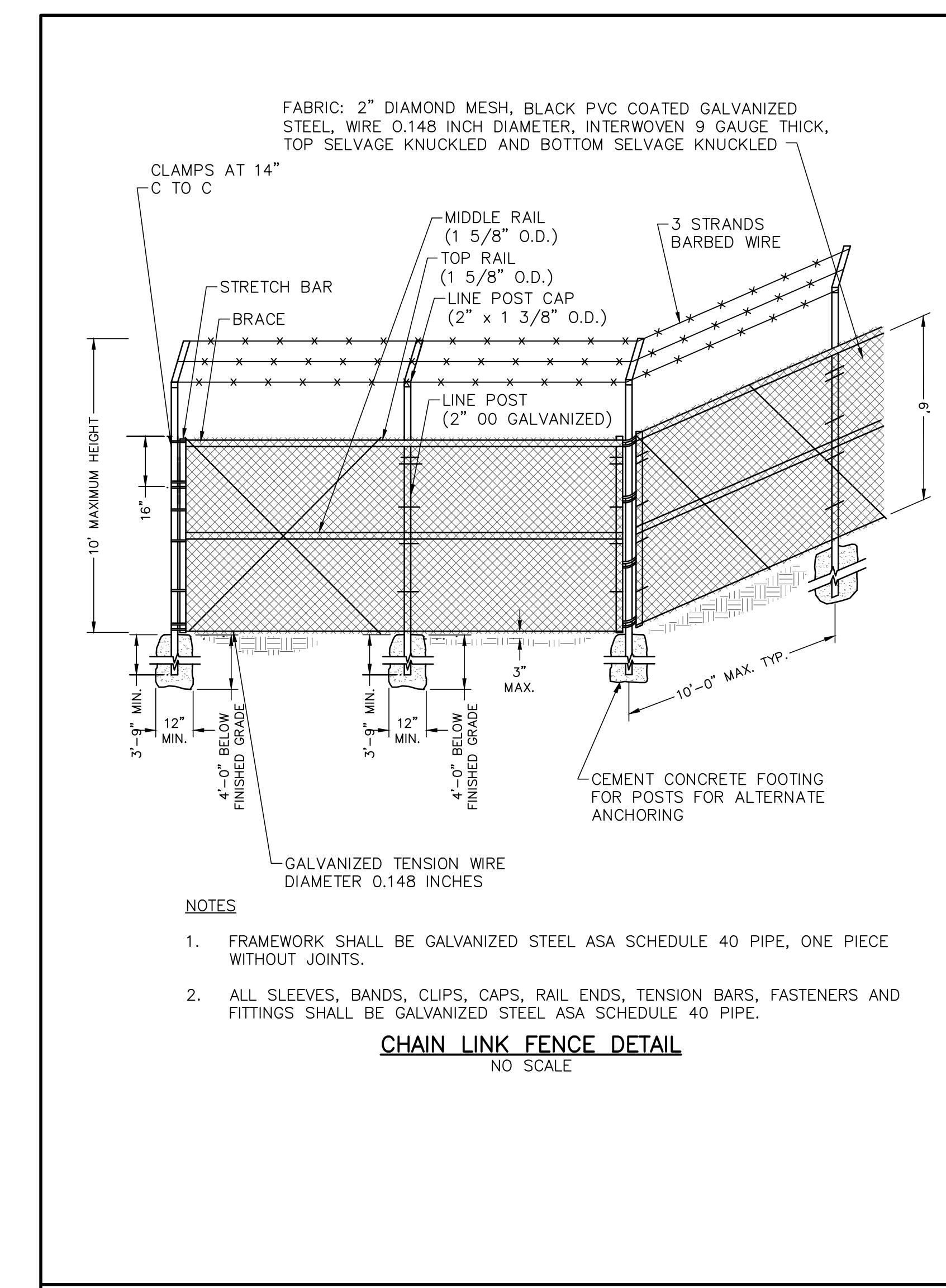
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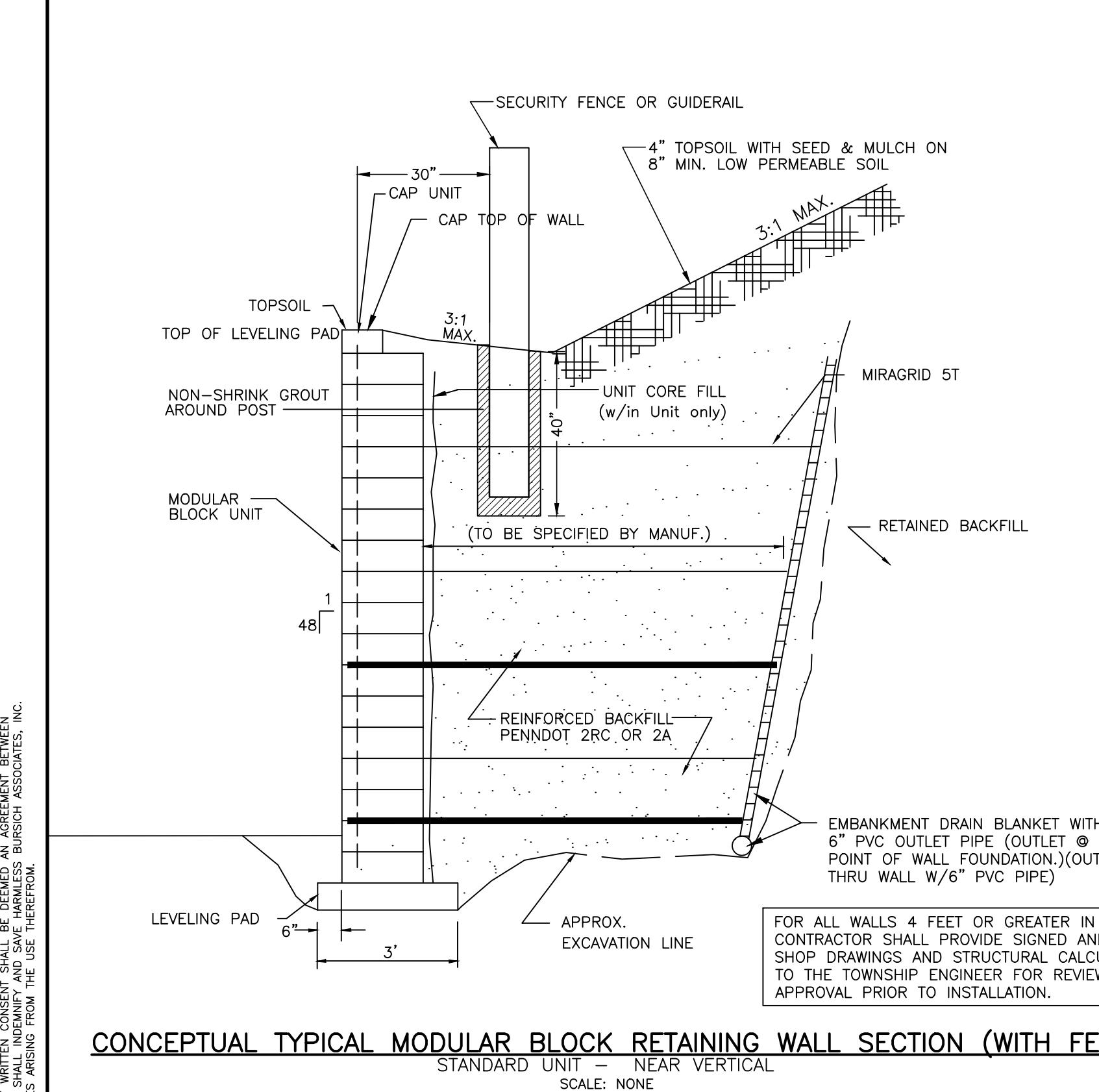


NOTES

1. FRAMEWORK SHALL BE GALVANIZED STEEL ASA SCHEDULE 40 PIPE, ONE PIECE WITHOUT JOINTS.
2. ALL SLEEVES, BANDS, CLIPS, CAPS, RAIL ENDS, TENSION BARS, FASTENERS AND FITTINGS SHALL BE GALVANIZED STEEL ASA SCHEDULE 40 PIPE.

#### CHAIN LINK FENCE DETAIL

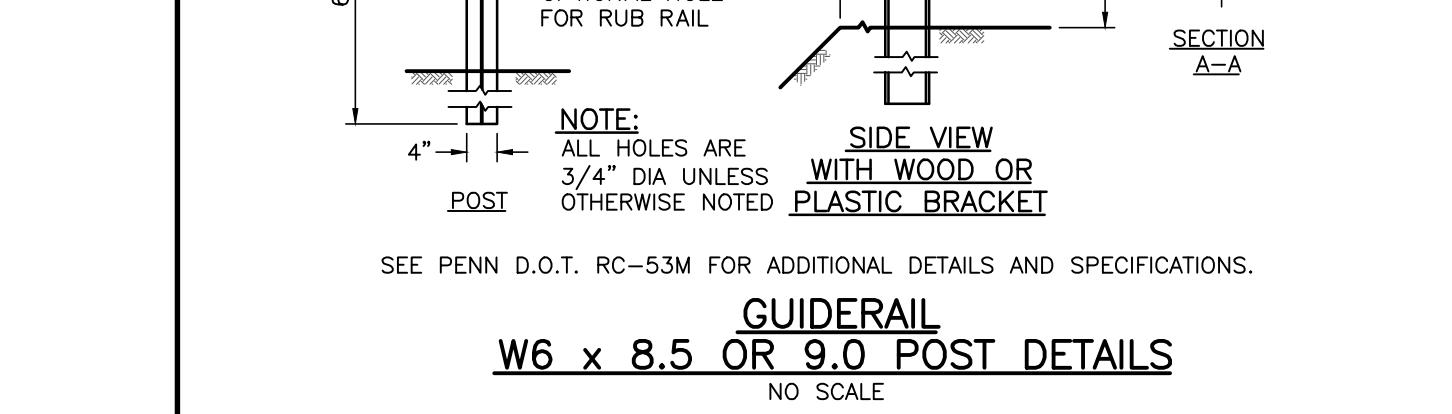
NO SCALE



CONCEPTUAL TYPICAL MODULAR BLOCK RETAINING WALL SECTION (WITH FENCE)

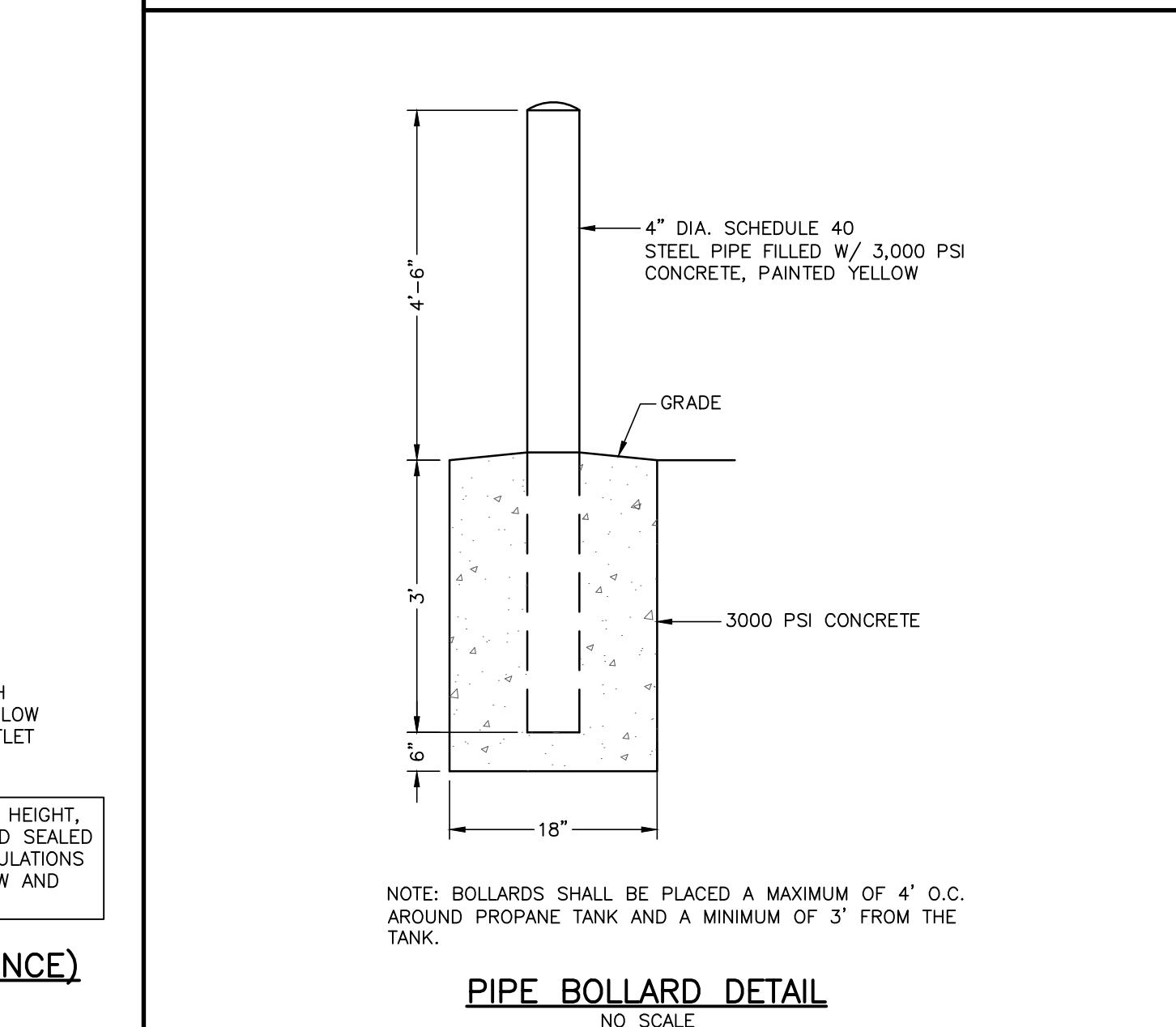
STANDARD UNIT NEAR VERTICAL

SCALE: NONE



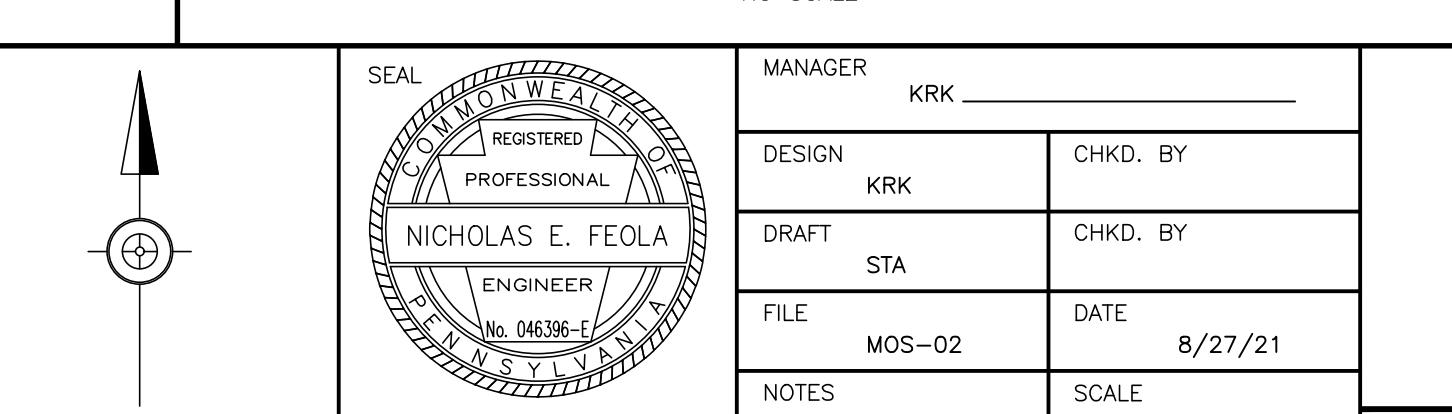
GUIDERAIL  
W6 x 8.5 OR 9.0 POST DETAILS

NO SCALE



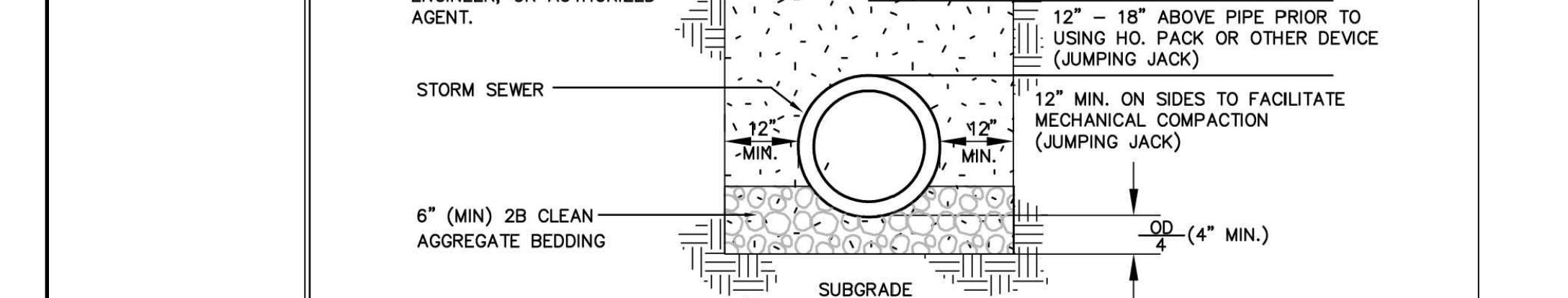
PIPE BOLLARD DETAIL

NO SCALE



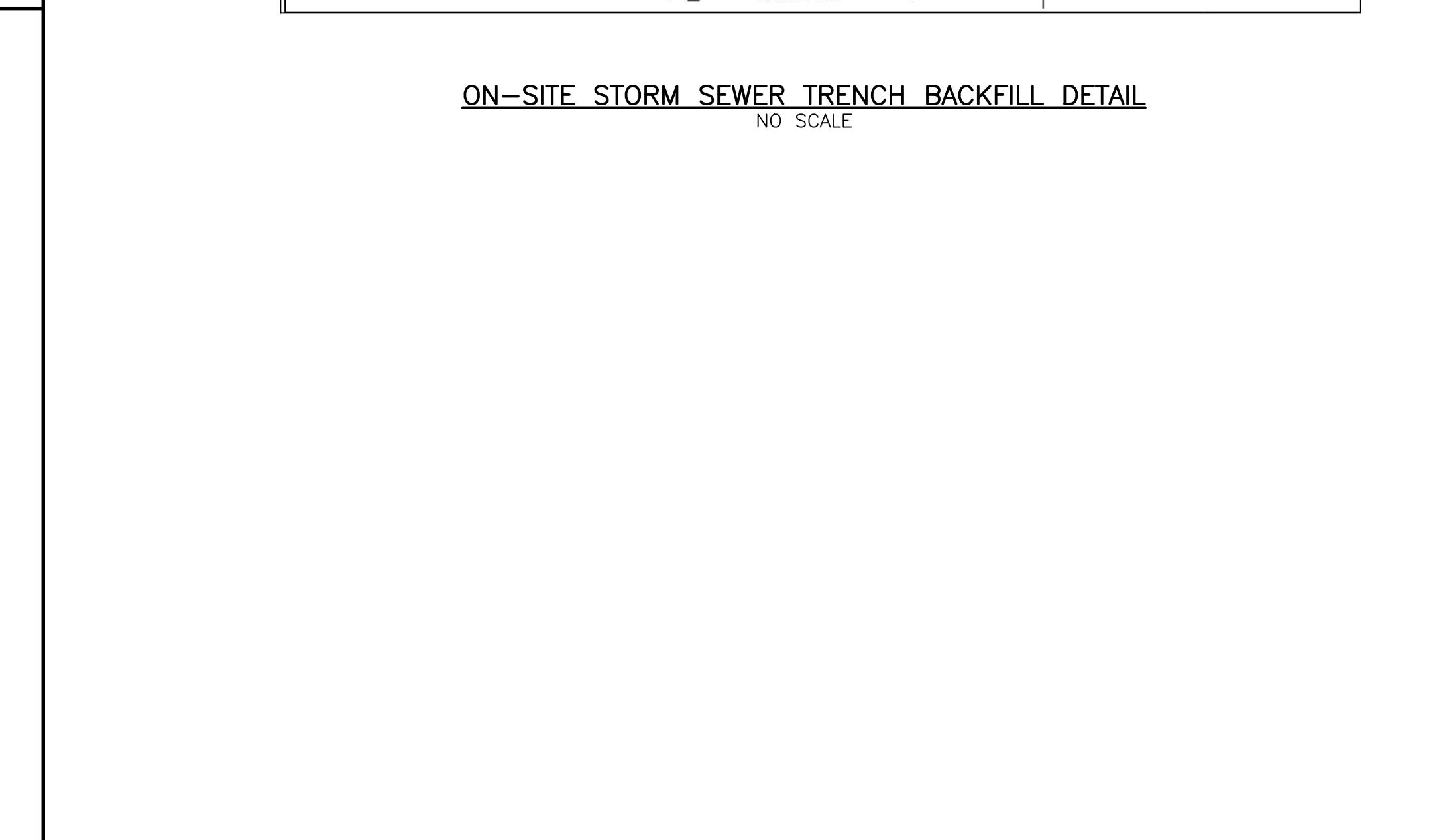
ON-SITE TYPICAL EXCAVATION, BACKFILL & PIPE  
EMBEDMENT DETAIL FOR SANITARY SEWER

SCALE: NONE



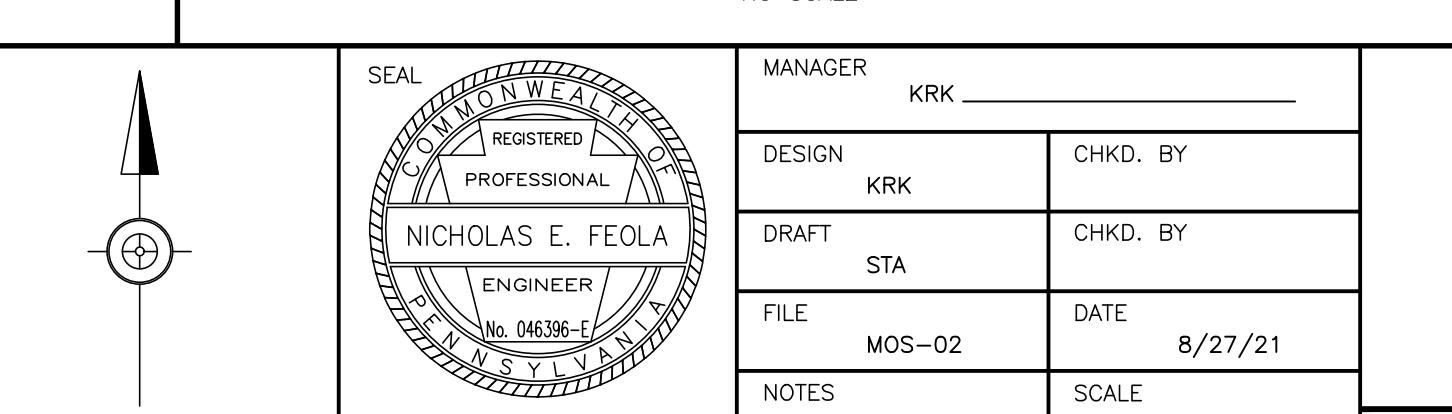
TRENCH RESTORATION FOR PROPOSED STREETS  
& LAWN AREAS DETAIL

NO SCALE



ON-SITE STORM SEWER TRENCH BACKFILL DETAIL

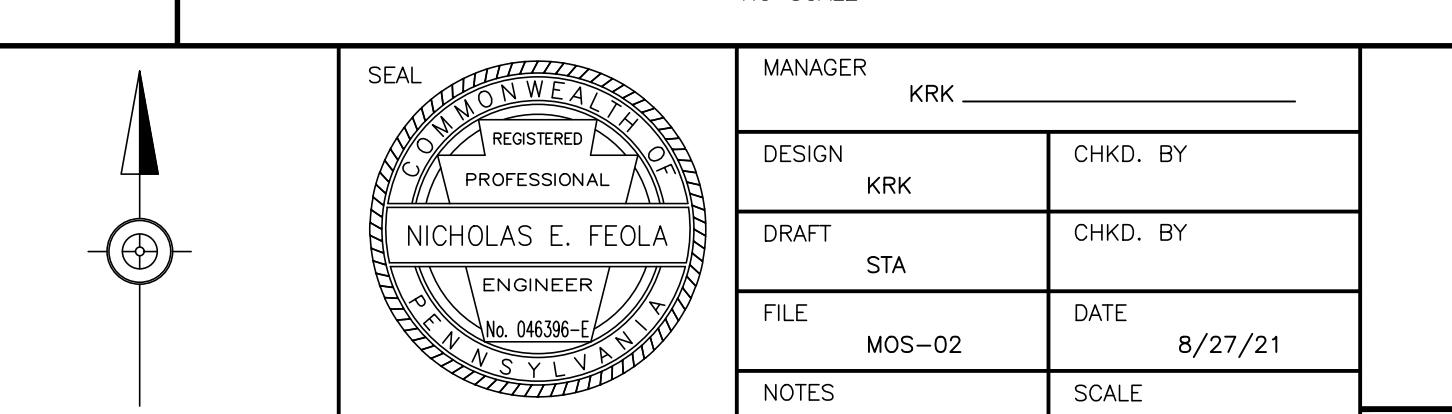
NO SCALE



CONCEPTUAL TYPICAL MODULAR BLOCK RETAINING WALL SECTION (WITH FENCE)

STANDARD UNIT NEAR VERTICAL

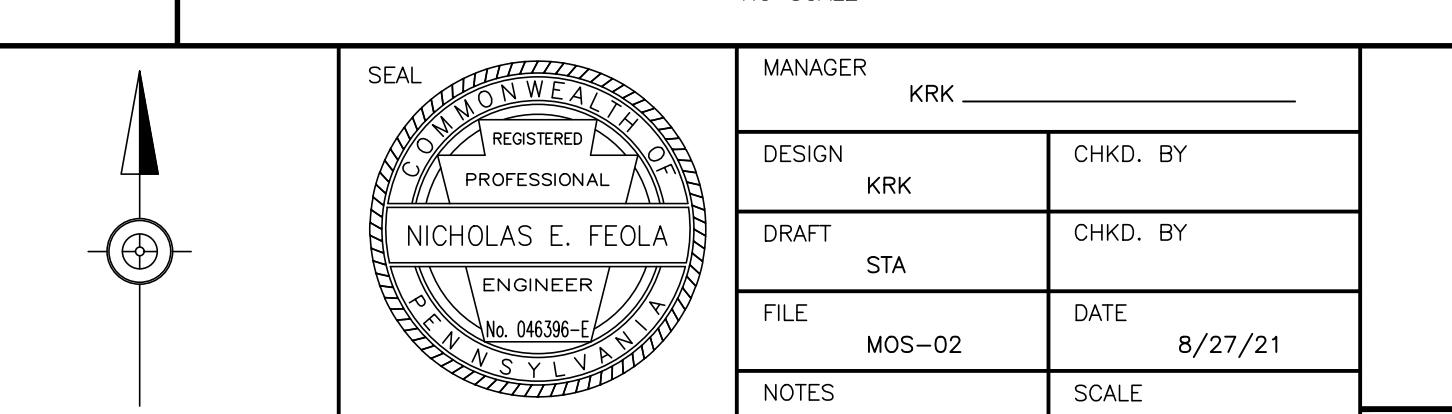
SCALE: NONE



CONCEPTUAL TYPICAL MODULAR BLOCK RETAINING WALL SECTION (WITH FENCE)

STANDARD UNIT NEAR VERTICAL

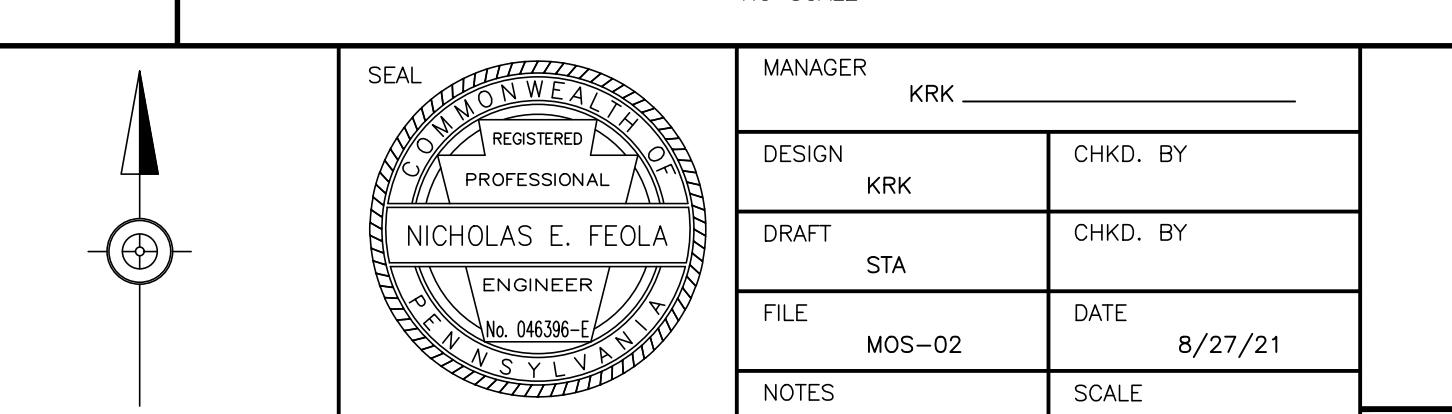
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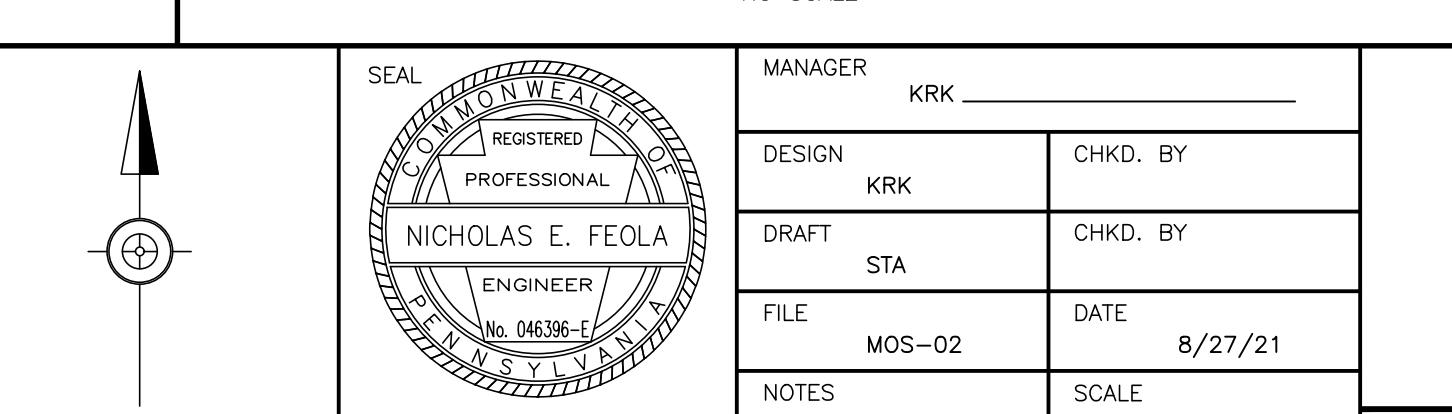
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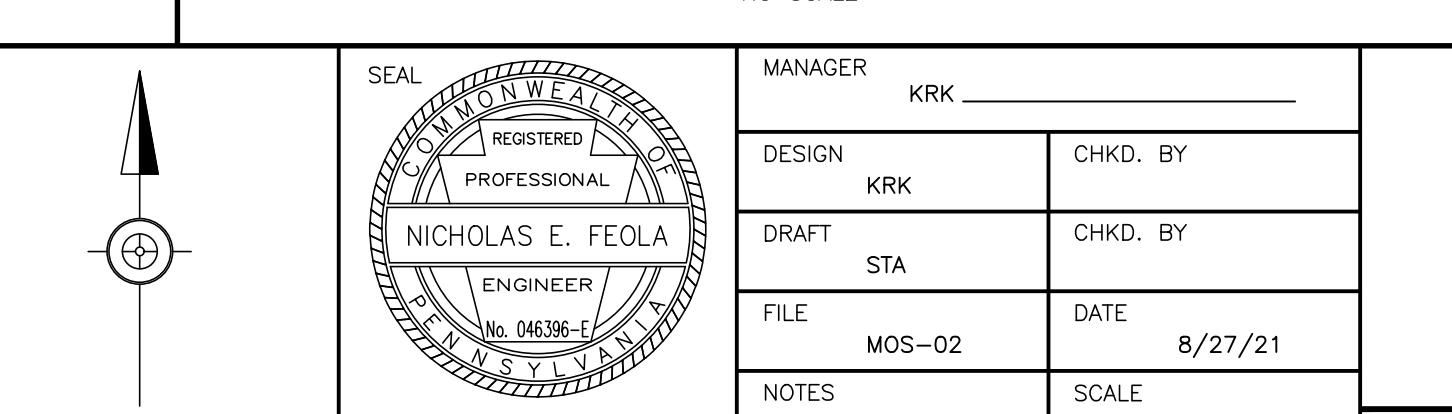
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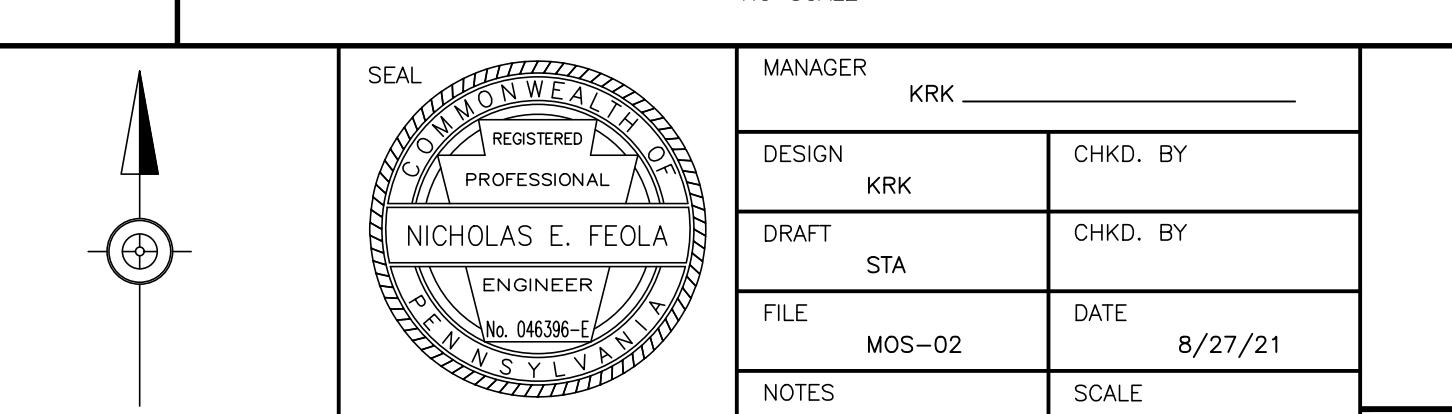
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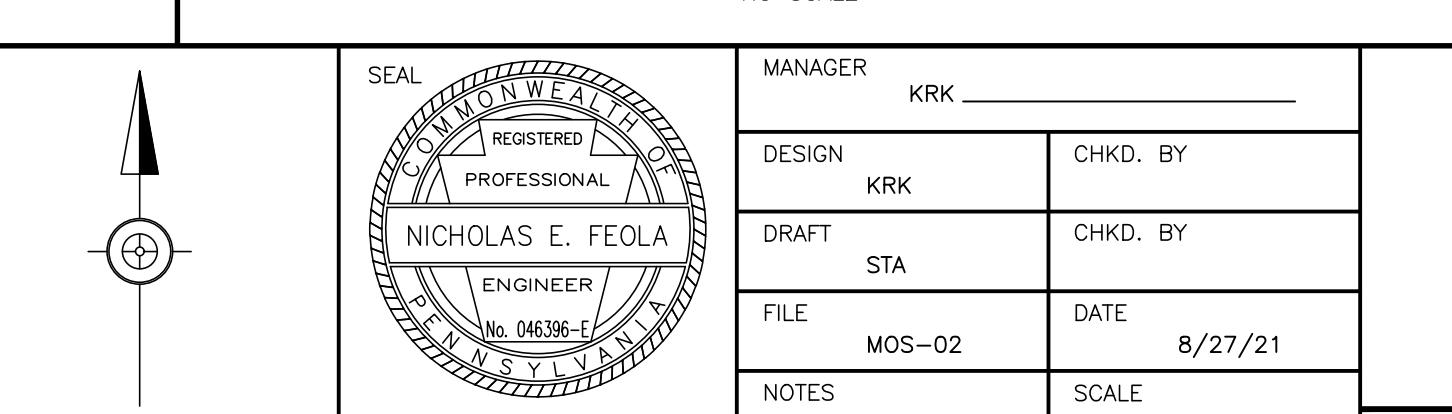
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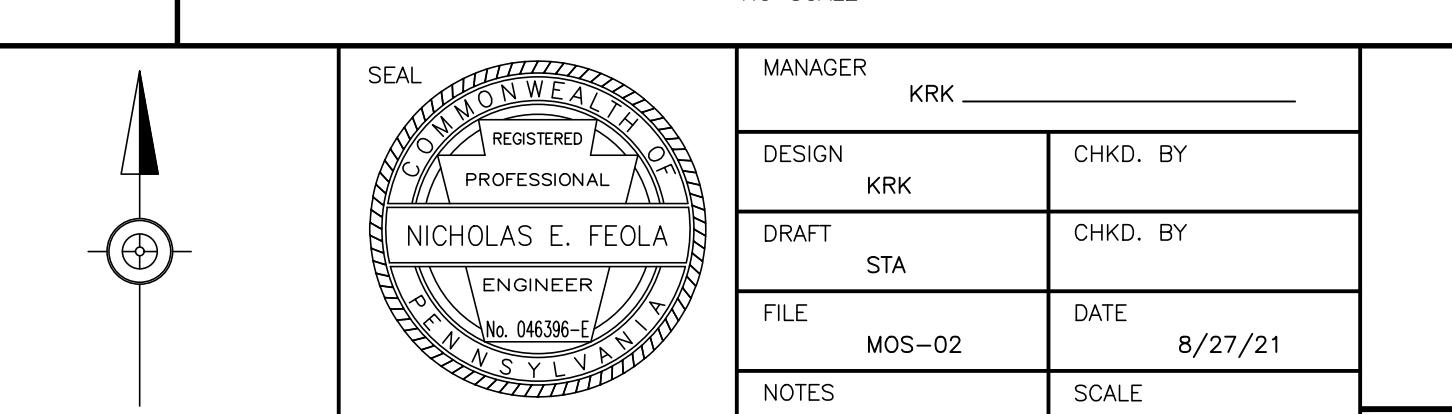
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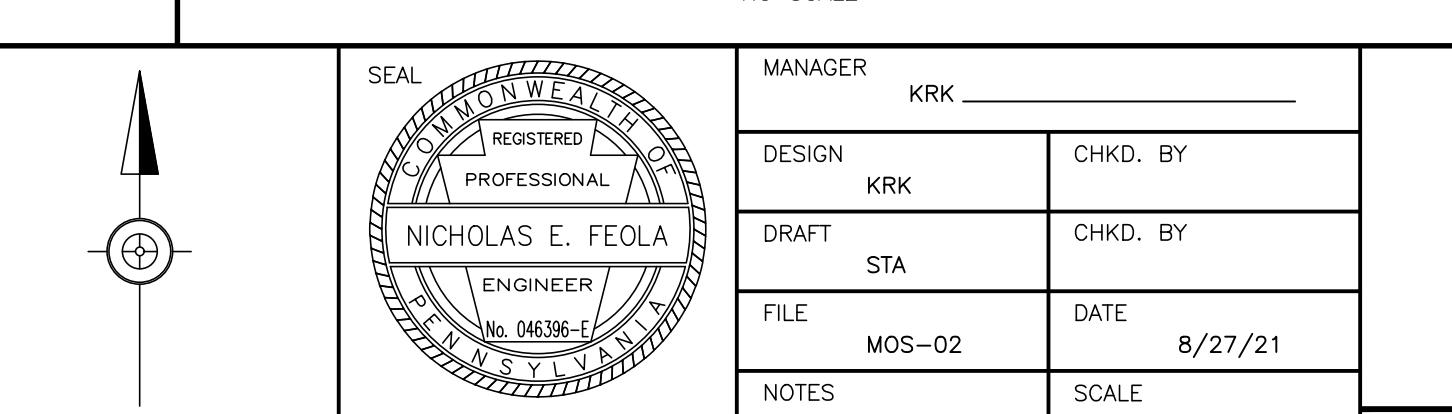
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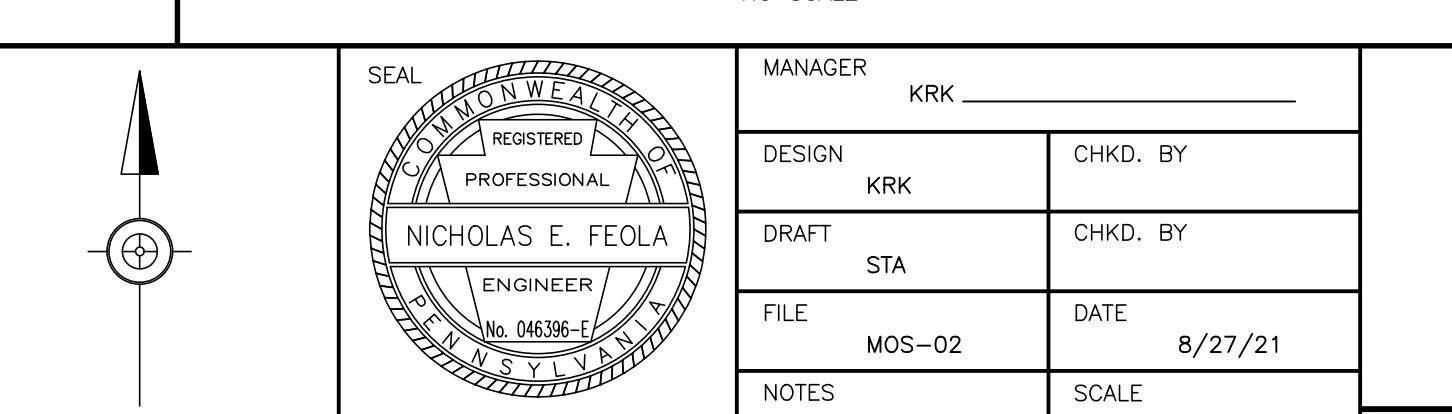
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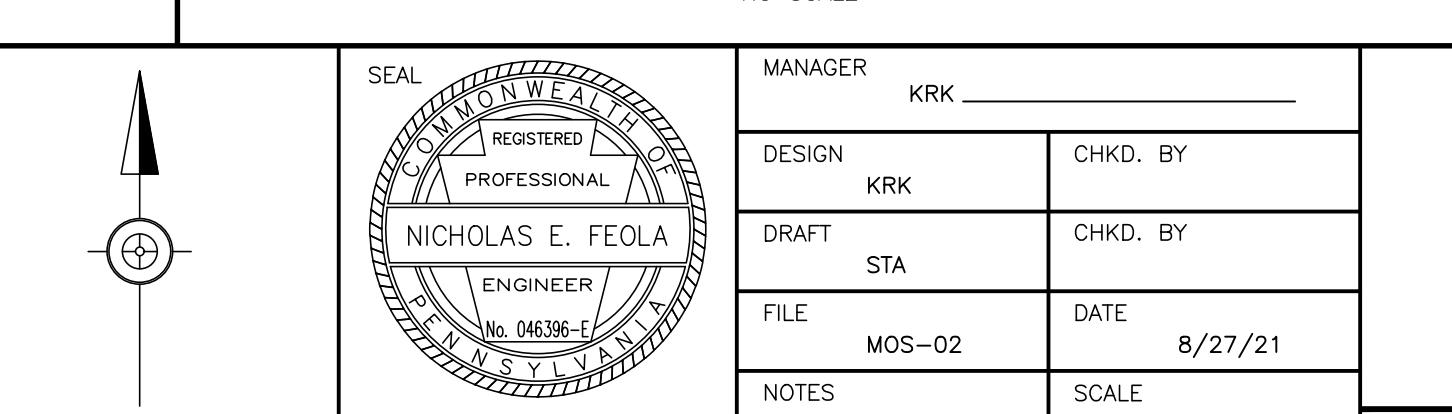
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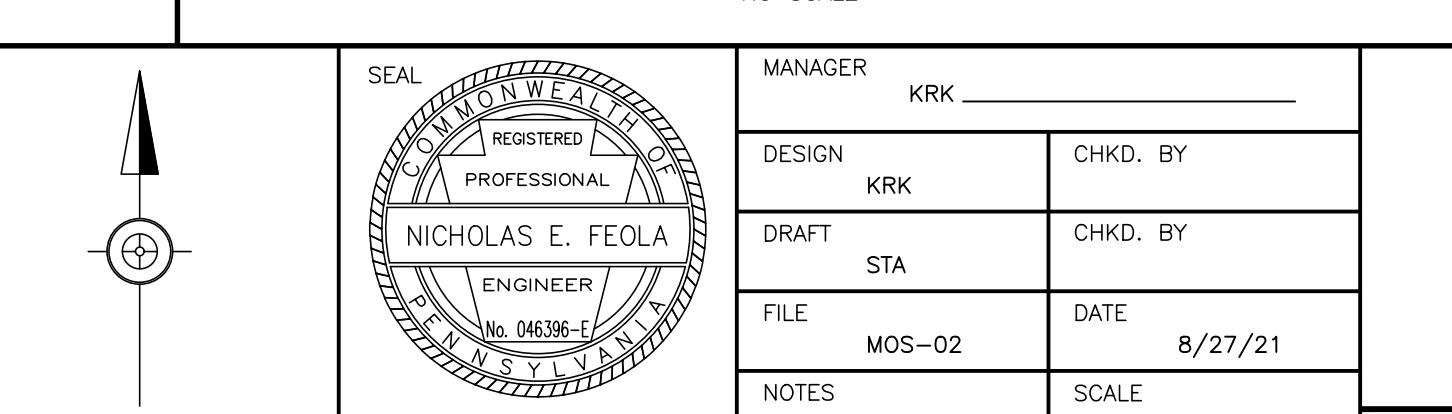
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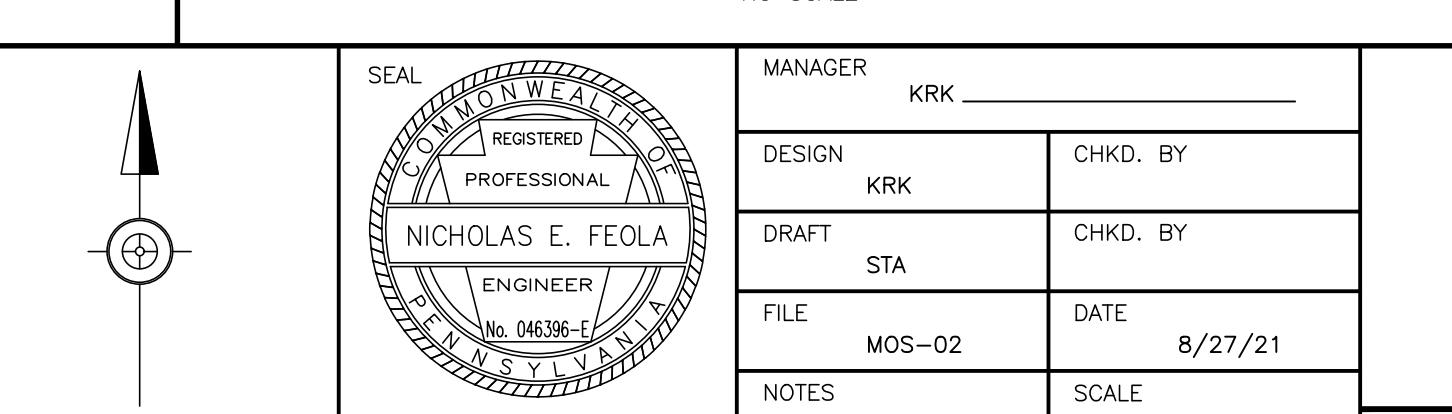
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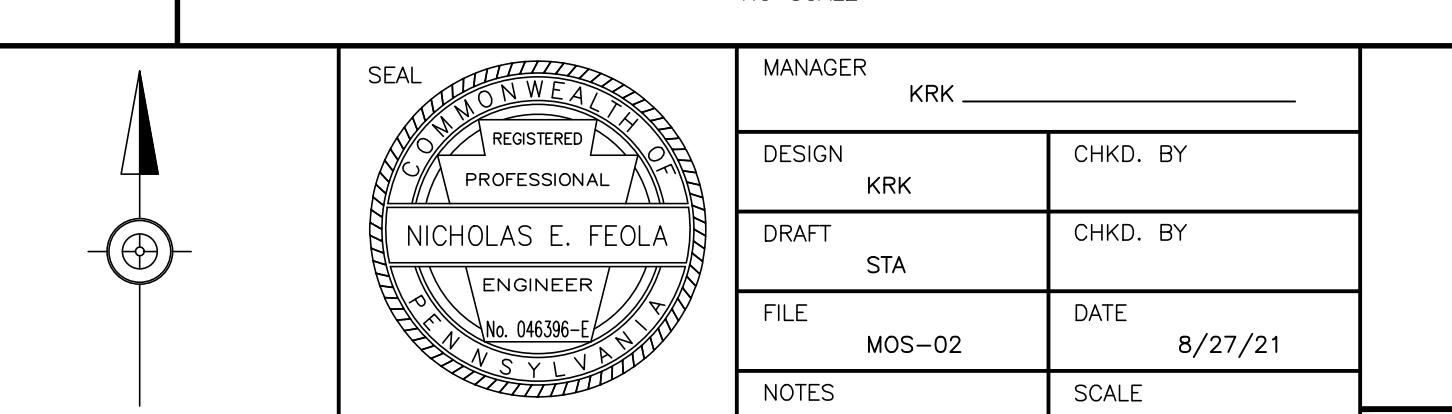
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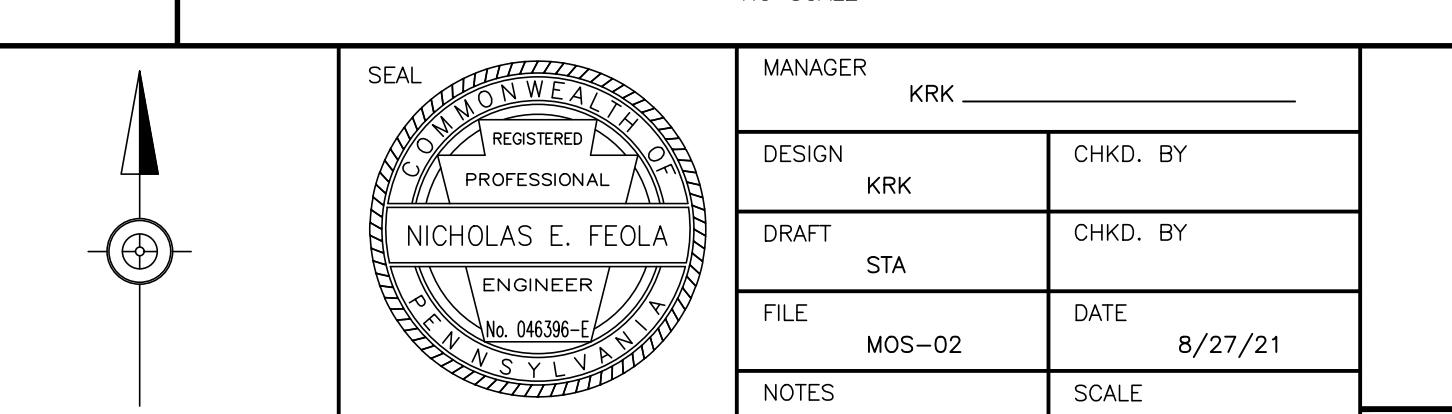
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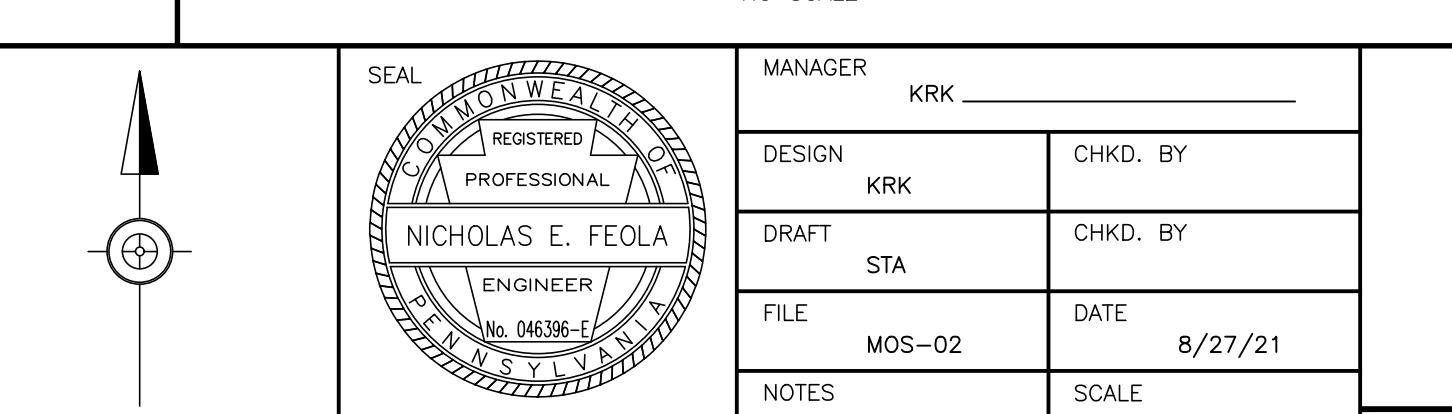
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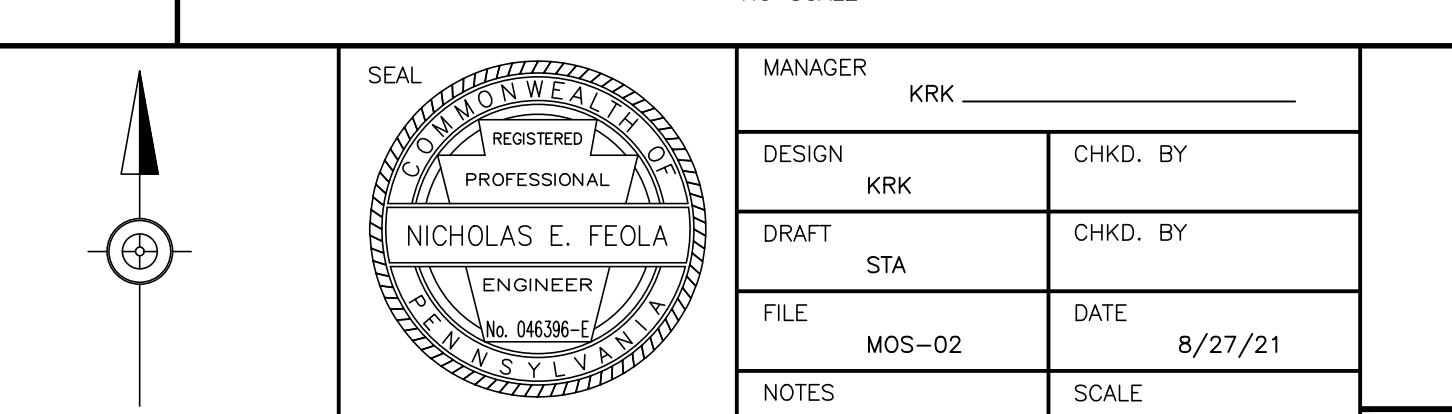
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CONCEPTUAL TYPICAL MODULAR BLOCK RETAINING WALL SECTION (WITH FENCE)

STANDARD UNIT NEAR VERTICAL

SCALE: NONE



**LANDSCAPE NOTES:**

1. THE LOCATION, DIMENSIONS AND SPACING OF REQUIRED PLANTINGS SHOULD BE ADEQUATE FOR THEIR PROPER GROWTH AND MAINTENANCE, TAKING INTO ACCOUNT THE SIZES OF SUCH PLANTINGS AT MATURITY AND THEIR PRESENT AND FUTURE ENVIRONMENTAL REQUIREMENTS, SUCH AS WIND, SOIL, MOISTURE AND SUNLIGHT.

2. PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY. ALL PLANTS SHALL MEET THE MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITION AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS, LATEST EDITION.

3. ALL PLANT MATERIAL SHALL BE HARDY WITHIN THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) HARDINESS ZONE 6, APPLICABLE TO LIMERICK TOWNSHIP.

4. CANOPY TREES SHALL REACH A MINIMUM HEIGHT AND SPREAD OF 30 FEET AT MATURITY AS DETERMINED BY THE AAN STANDARDS AND SHALL BE DECIDUOUS. NEW TREES SHALL HAVE A MINIMUM CALIPER OF 2.5 INCHES AT PLANTING.

5. ORNAMENTAL OR LARGE SHRUBS SHALL REACH A TYPICAL MINIMUM HEIGHT OF 10 FEET AT MATURITY BASED ON AAN STANDARDS. TREES AND SHRUBS MAY BE DECIDUOUS OR EVERGREEN AND SHALL HAVE A DISTINCTIVE ORNAMENTAL CHARACTER SUCH AS SHOWY FLOWERS, FRUIT, HABIT, FOLIAGE OR BARK. NEW ORNAMENTAL TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET OR A ONE-AND-HALF INCH CALIPER. NEW LARGE SHRUBS SHALL HAVE A MINIMUM SIZE OF 2.5 FT. AT TIME OF PLANTING.

6. SMALL SHRUBS SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF FOUR FEET BASED ON AAN STANDARDS FOR THAT SPECIES. NEW SHRUBS SHALL HAVE A MINIMUM SIZE OF 18 INCHES AT TIME OF PLANTING.

7. EVERGREEN TREES SHALL REACH A TYPICAL MINIMUM HEIGHT OF 20 FEET AT MATURITY BASED ON AAN STANDARDS FOR THAT SPECIES AND SHALL REMAIN EVERGREEN THROUGHOUT THE YEAR. NEW EVERGREENS SHALL HAVE A MINIMUM HEIGHT AT PLANTING OF SIX FEET.

8. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION BY TOWNSHIP ENGINEER AND UNTIL SATISFACTORY INSPECTION BETWEEN MAY 15 AND NOVEMBER 15. ANY PLANT MATERIAL THAT IS 25% OR GREATER DEAD SHALL BE CONSIDERED DEAD.

9. SOIL CONDITIONS SHALL BE TESTED PRIOR TO PLANTING AND TREATED WITH APPROPRIATE INGREDIENTS TO BALANCE THE PH.

10. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

11. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES AND SHALL ASSUME RESPONSIBILITY FOR DAMAGES TO UTILITIES AND PROPERTY AS A RESULT OF HIS WORK.

12. PLANT MATERIAL SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED OR CONTAINER GROWN. IT SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, VIGOROUS ROOT SYSTEM AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.

13. ALL PLANTING MATERIALS SHALL BE INSTALLED PER THE A.A.N. STANDARDS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STACKING AND GUYING, OR AS MAY BE INDICATED ON THE DRAWINGS.

ADDITIONALLY:

- TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.
- TREES THAT HAVE GROWN TOGETHER IN NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND BE CERTIFIED BY THE APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP OR PROPERLY ACCLIMATED CONDITIONS OF THE TOWNSHIP.

14. TREES SHALL BE PLANTED A MINIMUM DISTANCE OF THREE (3) FEET FROM CURBS AND SIDEWALKS, FIFTEEN (15) FEET FROM OVERHEAD UTILITIES AND SIX (6) FEET FROM UNDERGROUND UTILITIES.

15. TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE LAND DEVELOPMENT HAS BEEN COMPLETED.

16. ADDITIONAL FOUNDATION OR SITE LANDSCAPING MAY BE ADDED AT THE OWNER'S EXPENSE.

17. AFTER INSTALLATION PRUNE BRANCHES AND FOLIAGE (NOT ALL EVERGREENS OR DECIDUOUS END TIPS) BY 1/3, RETAINING NATURAL PLANT SHAPE. DO NOT CUT LEADER ON ANY EVERGREEN SHRUB OR ANY EVERGREEN OR DECIDUOUS TREE. SPRAY TRUNK STEM AND BRANCHES WITH ANTI-DESCICCATANT WAX.

18. PLANTS SHALL BEAR SAME RELATION TO FINISH GRADE AS PREVIOUS FINISH GRADE IN NURSERY.

19. SCARIFY COMPACTED SUBSOILS AT BOTTOM AND SIDES OF PLANTING PIT BEFORE INSTALLATION.

20. THESE LANDSCAPE PLANS SHALL BE REGARDED AS SCHEMATIC IN NATURE. ALL PLANT LOCATIONS SHALL BE SUBJECT TO FIELD ADJUSTMENT BY THE OWNER'S REPRESENTATIVE.

21. ALL AREAS UNDERLAY BY ROCK ARE TO BE MEASURED TO DETERMINE IF MINIMUM DEPTH NECESSARY TO PERMIT PLACEMENT OF BACKFILL REQUIRED TO ENSURE PROPER DRAINAGE IS FEASIBLE OR ALTERNATELY, IF ADDITIONAL FILL MATERIAL IS FEASIBLE, TO ACHIEVE PROPER PLANTING. CONTRACTOR SHALL REPORT THIS CONDITION TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL ON METHOD OF PLANTING.

22. FILLING OF SOILS OVER THE ROOTS OF TREES TO BE PRESERVED IS STRICTLY PROHIBITED.

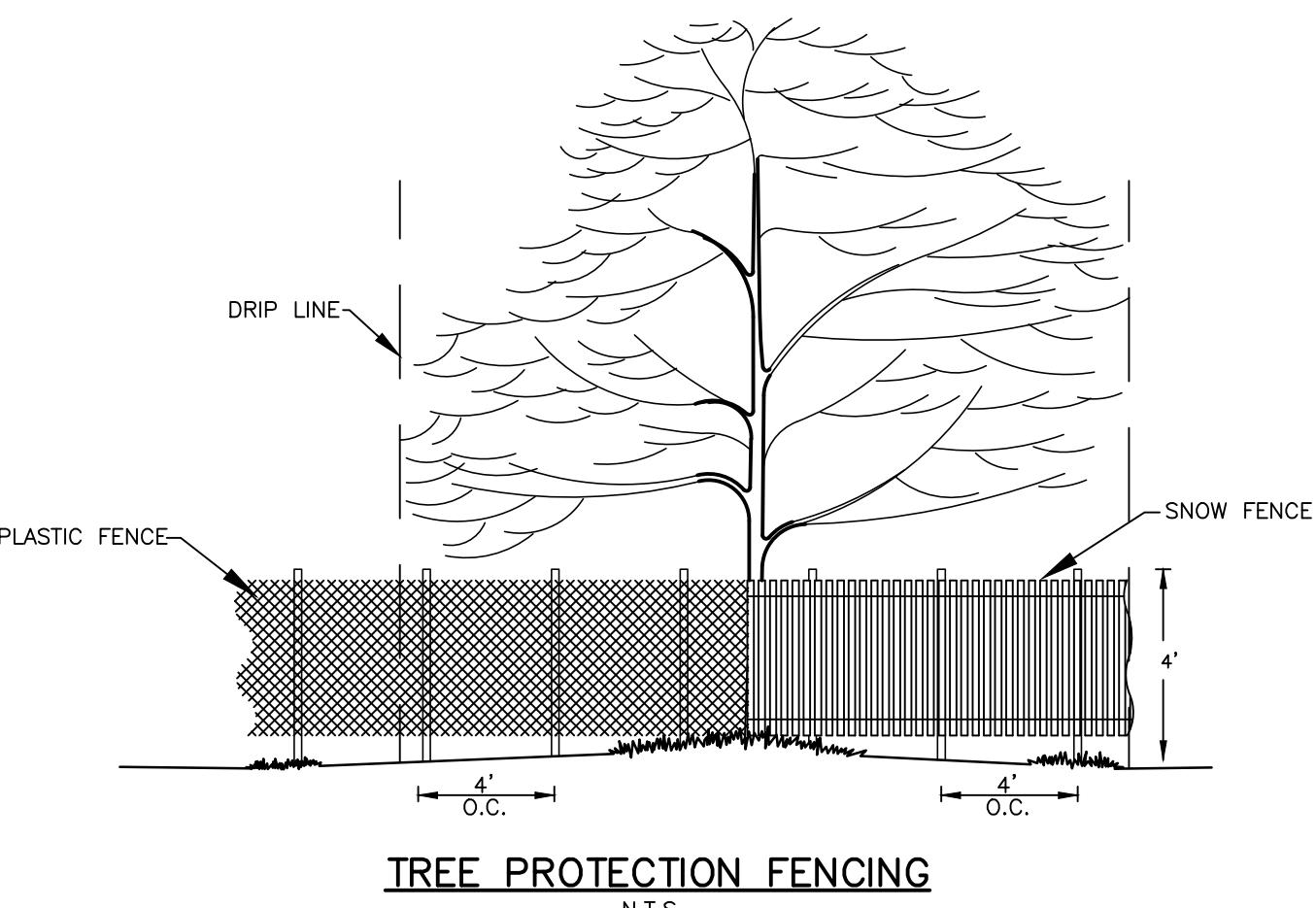
23. CLEANLY PRUNE ALL DAMAGED ROOT ENDS IMMEDIATELY PRIOR TO BACKFILLING PLANTING PIT.

24. THE DEVELOPER OR LANDOWNER SHALL DEPOSIT WITH THE TOWNSHIP A SUM OF MONEY EQUAL TO THE AMOUNT NECESSARY TO COVER THE COST OF PURCHASING, PLANTING, MAINTAINING AND REPLACING ALL VEGETATIVE MATERIALS FOR A PERIOD OF 18 MONTHS.

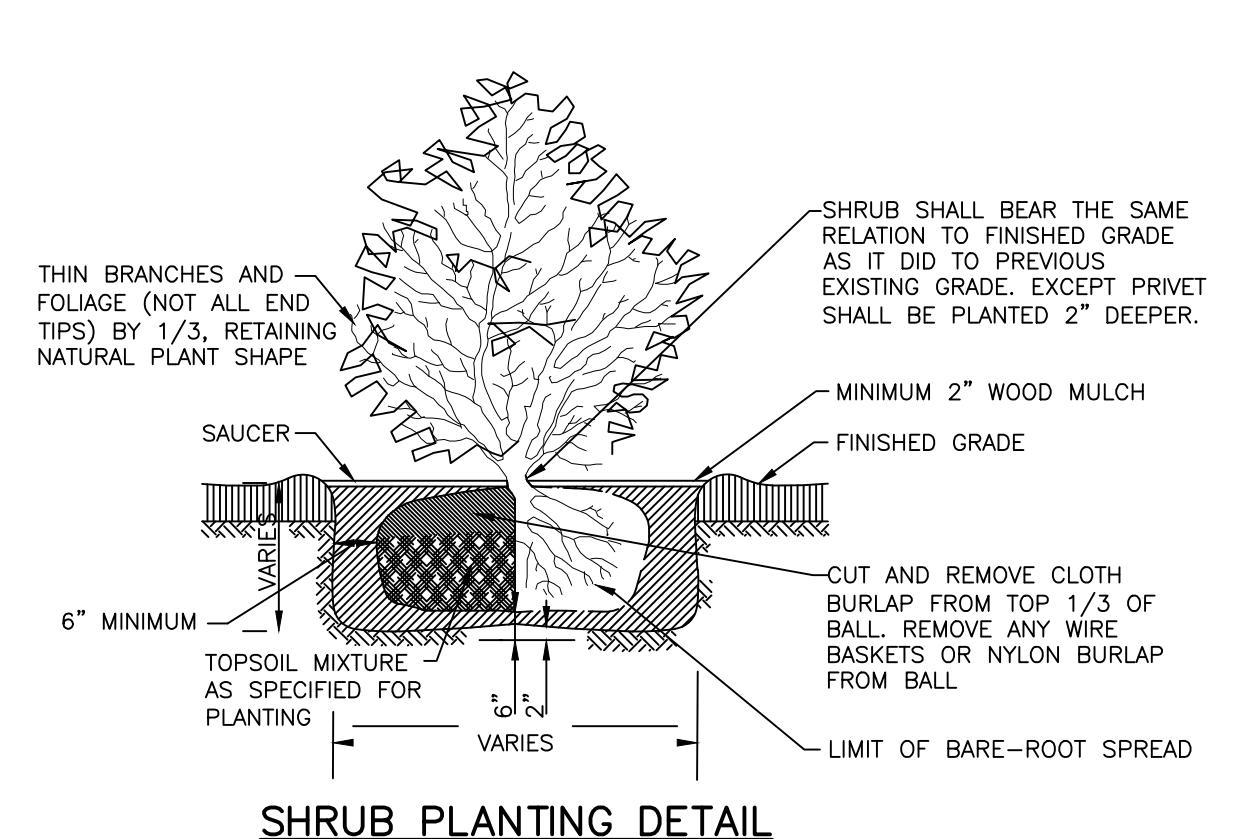
25. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNERS, TENANTS AND/OR OTHER OCCUPANTS OF THE PREMISES TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, WHICH RESPONSIBILITY SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH, UNLESS SPECIFIED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

26. EXISTING VEGETATION INTENDED TO REMAIN AS PART OF THE LANDSCAPING OF A LAND DEVELOPMENT SHALL BE IDENTIFIED IN THE FIELD PRIOR TO ANY CLEARING AND PHYSICALLY PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. A TEMPORARY PHYSICAL BARRIER SHALL BE ERECTED A MINIMUM OF ONE FOOT OUTSIDE THE DRIP LINE OF INDIVIDUAL TREES, TREE MASSES OR WOODLANDS PRIOR TO MAJOR CLEARING OR CONSTRUCTION. THE BARRIER SHALL REMAIN UNTIL CONSTRUCTION IS COMPLETE. SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.

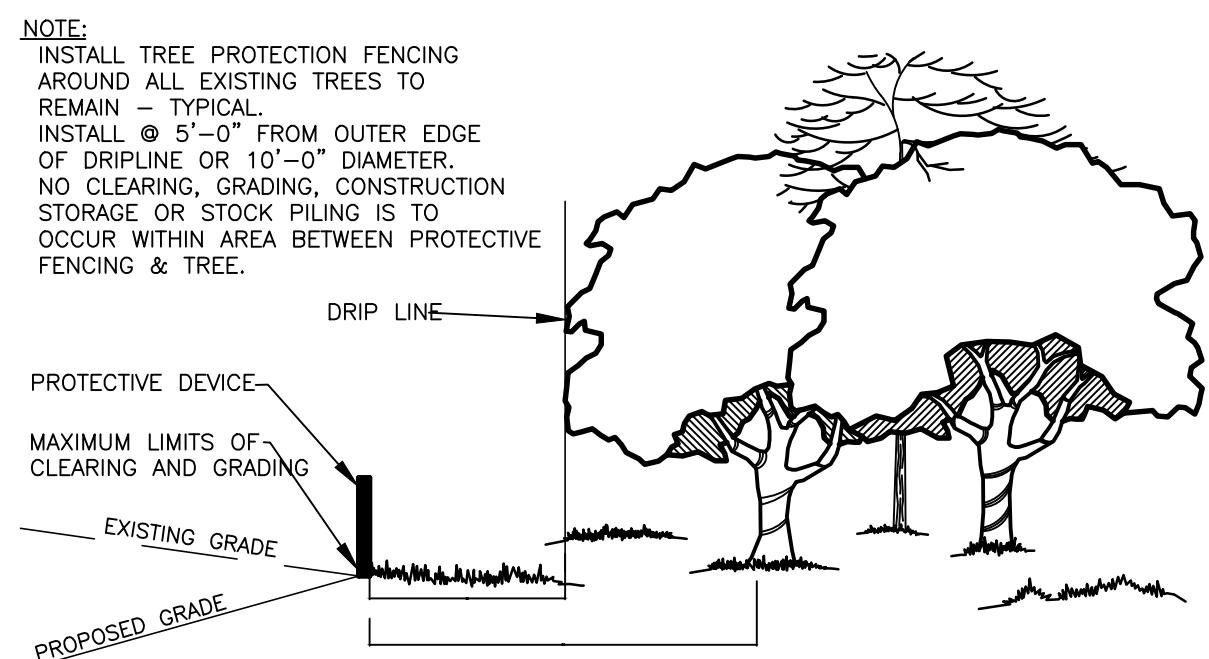
27. REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF SUCCESSIVE PROPERTY OWNERS TO ENSURE THAT THE REQUIRED PLANTINGS ARE PROPERLY MAINTAINED. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED PROMPTLY BY THE PROPERTY OWNER AND REPLACED AT THE NEXT GROWING SEASON.



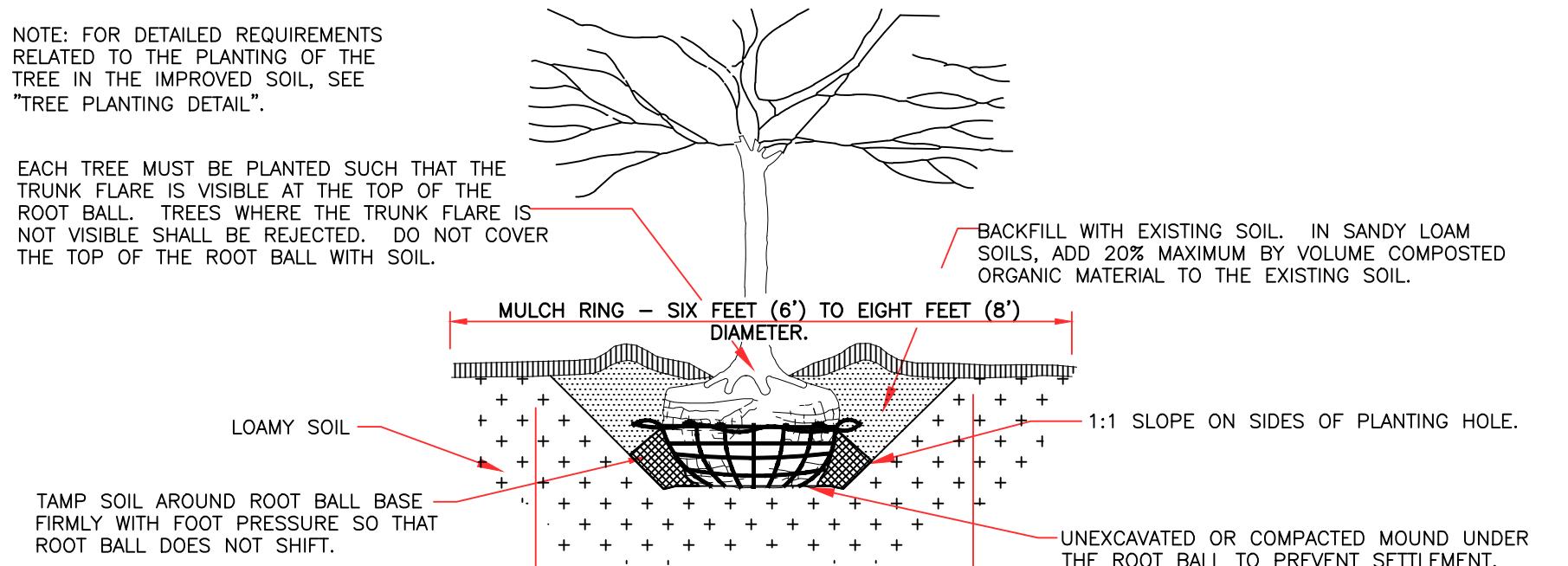
**TREE PROTECTION FENCING**  
N.T.S.



**SHRUB PLANTING DETAIL**

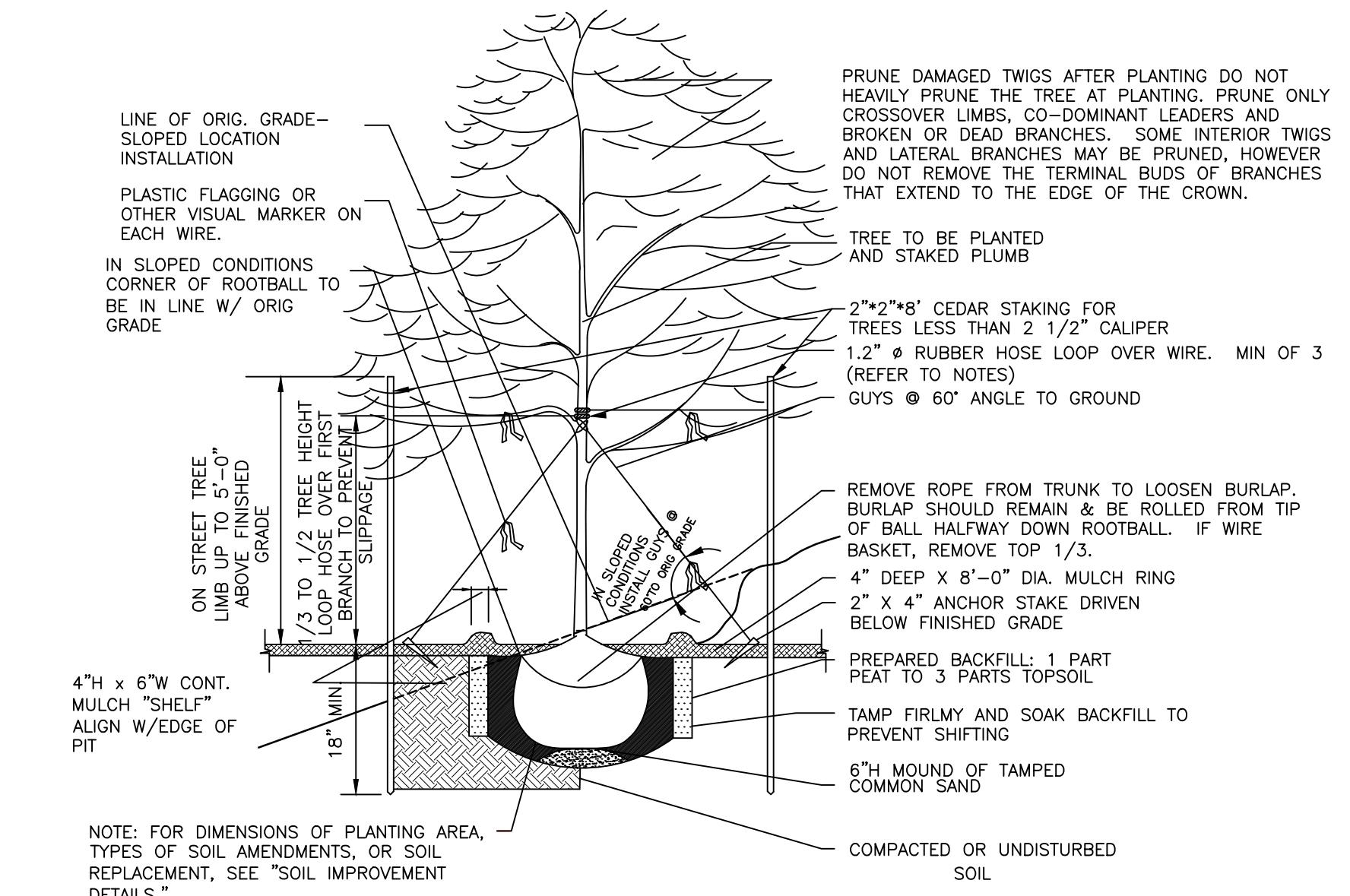


**CONSTRUCTION OPERATIONS RELATIVE TO THE LOCATION OF PROTECTED TREES**  
N.T.S.



POST-CONSTRUCTION SOIL CONDITION	MINIMUM WIDTH PREPARED SOIL FOR TREES	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS.
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FEET	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS, ADD COMPOSTED ORGANIC MATERIAL UP TO 5% DRY WEIGHT.
GRADED SUBSOILS AND CLEAN FILL WITH CLAY CONTENT BETWEEN 5% TO 35%	20 FEET	MINIMUM TREATMENT: LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS AND UNDER MINIMUM WIDTHS, ADD COMPOSTED ORGANIC MATERIAL TO BRING ORGANIC MATERIAL UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 INCHES OR THE EXISTING SOIL WIDTHS AND DEPTHS AS INSTRUCTED, ADD 8-10 INCHES OF PREPARED LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FEET	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL. ADD PREPARED LOAM TOPSOIL TO FILL AREA.

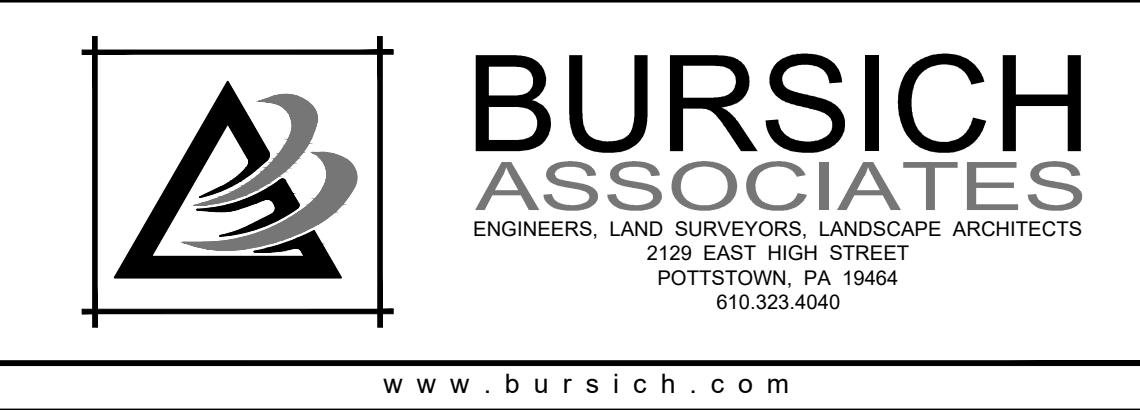
**SOIL IMPROVEMENT DETAIL**



**DECIDUOUS TREE PLANTING DETAIL**

**TREE PLANTING NOTES:**

1. DETAILS ON THIS SHEET APPLY ONLY TO PLANTING SPACES LARGER THAN 8 FEET SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.
2. STAKE TREES UNDER THE FOLLOWING CONDITIONS: TREE W/ ROOT BALL WITH VERY SANDY SOIL OR VERY WET CLAY SOILS. TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. TREE LOCATED ON STEEP SLOPES (GREATER THAN 33%). STAKE TREES UNDER 2 1/2" CALIPER W/ 14 GAUGE WIRE. GUY TREES OVER 2 1/2" CALIPER W/ 12 GAUGE WIRE. ALL STAKES TO BE INSTALLED OUTSIDE OF ROOT BALL. WIRE OR CABLE SIZES SHALL BE AS FOLLOWS: TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE. TREES ON SLOPES SHALL BE STAKED W/ 2 STAKES ON UPHILL AND ONE ON DOWNSHILL SIDE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
3. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
4. SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS. PLANT TREES SUCH THAT THE TUNK FLARE IS VISIBLE. TRUNK DO NOT COVER TOP OF ROOT BALL WITH SOIL. DO NOT APPLY MULCH IN CONTACT WITH TRUNK.



CLIENT  
AMERICO P. MOSCARELLO  
24 DONNY BROOK WAY  
COLLEGEVILLE, PA 19426

SUBJECT  
CONSTRUCTION DETAILS  
MOSCARELLO AT FUTURA DRIVE  
LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO. 208152.00  
SHEET NO. 17 OF 19  
DWG. NO. CD308152

## TANK ALERT® EZ Alarm System

Innovative, indoor or outdoor liquid level alarm system. This alarm system monitors liquid levels in lift pump chambers, sump pump basins, holding tanks, sewage, agricultural, and other water applications.

The Tank Alert® EZ indoor/outdoor alarm can serve as a high or low level alarm depending on the float switch model used. This easy to install alarm features an innovative, sleek 2-color molded enclosure which integrates the LED red translucent beacon.

The alarm sounds and the upper housing half illuminates when a potentially threatening liquid level condition occurs. The audible alarm can be silenced by pressing the Test/Silence button, but the alarm light will remain on until the condition is remedied. Once the condition is cleared, the alarm will automatically reset. A green "Power On" light indicates power to the alarm panel.

### FEATURES

- 2-color molded enclosure offers a distinct look; upper translucent half illuminates in alarm condition.
- Removable lower cover provides greater access for easier field wiring while the internal circuitry remains protected.
- Interlocking enclosure features unique sound chamber to amplify the horn, while helping prevent moisture from entering.
- External mounting tabs for easy installation.
- Enclosure is Type 3R water-tight standards.
- End caps has indicator marks on bottom for easy placement of cord entry locations.
- Automatic self reset, horn silence switch, and alarm test switch.
- Alarm horn sounds at 82 decibels at 10 feet (3 meters)
- Alarm system (when installed on separate circuit) operates even if pump circuit fails.
- Green power on indicator.
- Includes auxiliary contacts for easy attachment of remote devices.
- Complete package includes standard SJE SignalMaster® control switch with 15 feet (4.57 meters) of cable (other lengths available) and mounting clamp.
- CSA Certified.
- Five-year limited warranty.

### OPTIONS

When ordered with the alarm, the system is available with:

- alternate float switch models for high or low liquid level warning.
- premounted terminal block so enclosure can also be used as a junction box for splicing pump, pump switch, and pump power. Meets NEC standard for junction boxes.
- 6 foot (1.8 meter) power cord with 120V plug and liquid tight connector (120V Model Only).

PO Box 1708, Detroit Lakes, MN 56502  
1-888-DIAL-SJE • 1-218-847-1317  
1-218-847-4617 Fax

email: customer.service@sjerhombus.com

www.sjerhombus.com

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SEE BACKSIDE FOR ORDERING INFORMATION.  
SEE PRICE BOOK FOR LIST PRICE.

## TANK ALERT® EZ Alarm System

Innovative, indoor or outdoor liquid level alarm system.

### ORDERING INFORMATION

#### STANDARD ALARM (120 VAC)

Part#	Description	Shipping Weight	OPTIONS
1036589	TAEZ-01H (120 VAC w/15' SJE SignalMaster® High Level)	2.75 lbs.	CONTROL SWITCH OPTIONS
1036590	TAEZ-01H (120 VAC w/15' SJE Sensor Float® High Level)	2.75 lbs.	The Tank Alert® EZ alarm system comes with a standard 15 foot SJE SignalMaster® control switch with mounting clamp. Other float switch models available. See control section of the catalog.
1036591	TAEZ-01X (120 VAC w/15' SJE SignalMaster® Low Level)	2.75 lbs.	
1036019	TAEZ-01L (120 VAC w/15' SJE SignalMaster® Low Level)	2.75 lbs.	
1036020	TAEZ-01L (120 VAC w/15' SJE Sensor Float® Low Level)	2.75 lbs.	
1036036	TAEZ-01L (120 VAC w/15' SJE Sensor Float® Low Level TB)	2.75 lbs.	

#### STANDARD ALARM (120 VAC) with terminal block

Part#	Description	Shipping Weight	OPTIONS
1036592	TAEZ-01HTB (120 VAC w/15' SJE SignalMaster® High Level TB)	2.75 lbs.	
1036593	TAEZ-01HTB (120 VAC w/15' SJE Sensor Float® High Level TB)	2.75 lbs.	
1036594	TAEZ-01XB (120 VAC no float)	1.50 lbs.	
240 VAC Model:			
Primary: 240 VAC, 50/60 Hz, 3.8 watts max. (alarm condition)			
Secondary: 9 VDC			

#### STANDARD ALARM (240 VAC)

Part#	Description	Shipping Weight	OPTIONS
1036595	TAEZ-02H (240 VAC w/15' SJE SignalMaster® High Level)	2.75 lbs.	
1036596	TAEZ-02X (240 VAC no float)	1.50 lbs.	

#### STANDARD ALARM (240 VAC) with terminal block

Part#	Description	Shipping Weight	OPTIONS
1036597	TAEZ-02TB (240 VAC w/15' SJE SignalMaster® High Level TB)	2.75 lbs.	

H = High Level L = Low Level X = No float TB = Includes Terminal Block

MASTER CARTON holds 12 boxed units.

SEE PRICE BOOK FOR LIST PRICE.

### SPECIFICATIONS

VOLTAGE:  
120 VAC, 1.5 amps max., 50/60 Hz, 3.8 watts max. (alarm condition)

240 VAC Model:  
Primary: 240 VAC, 50/60 Hz, 3.8 watts max. (alarm condition)

SECONDARY: 9 VDC

POWER CORD:  
(OPTIONAL) - 120V Model Only:  
6 foot (1.8 meters) with 120 VAC plug

FLOAT SWITCH: SJE SignalMaster® control switch with mounting clamp

PRE-MOUNTED TERMINAL BLOCK (OPTIONAL): 20amps, 120/240 VAC

POWER CORD (OPTIONAL - 120V Model Only):  
6 foot (1.8 meters) with 120 VAC plug

ALARM ENCLOSURE: 6.7 x 5.3 x 2.5 inches (17.02 x 13.46 x 6.35 cm), indoor/outdoor, polycarbonate, meets Type 3R water-tight standard

ALARM HORN: 82 decibels at 10 feet (3 meters)

AUXILIARY ALARM CONTACTS: 240 VAC/30 VDC, 1.5 amps max., 50/60 Hz (circuit not supervised)

PRE-MOUNTED TERMINAL BLOCK (OPTIONAL): 20amps, 120/240 VAC

POWER CORD (OPTIONAL - 120V Model Only): 6 foot (1.8 meters) cord with 120 VAC plug

FLOAT SWITCH: SJE SignalMaster® control switch with mounting clamp

CABLE: 15 feet (4.57 meters), flexible 18 gauge, 2 conductor (UL) SJOW, water-resistant (CPE)

PLATE: 2.75 inch diameter x 4.83 inch long (7 cm x 12.3 cm), high impact, corrosion resistant polycarbonate housing for use in sewage and non-potable water up to 140°F (60°C)

MAXIMUM WATER DEPTH: 30 feet (9 meters), 13 psi

ELECTRICAL: 5 amps, 125 VAC/250 VAC, 50/60 Hz

6 foot (1.8 meter) power cord with 120V plug and liquid tight connector (120V Model Only).

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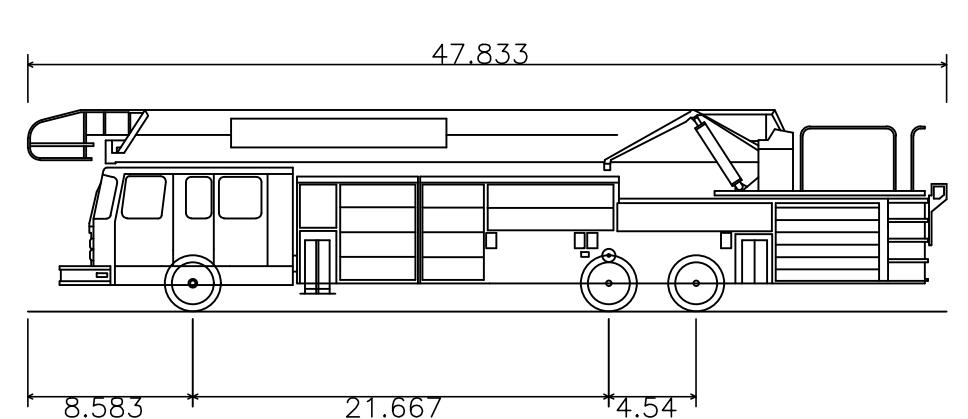
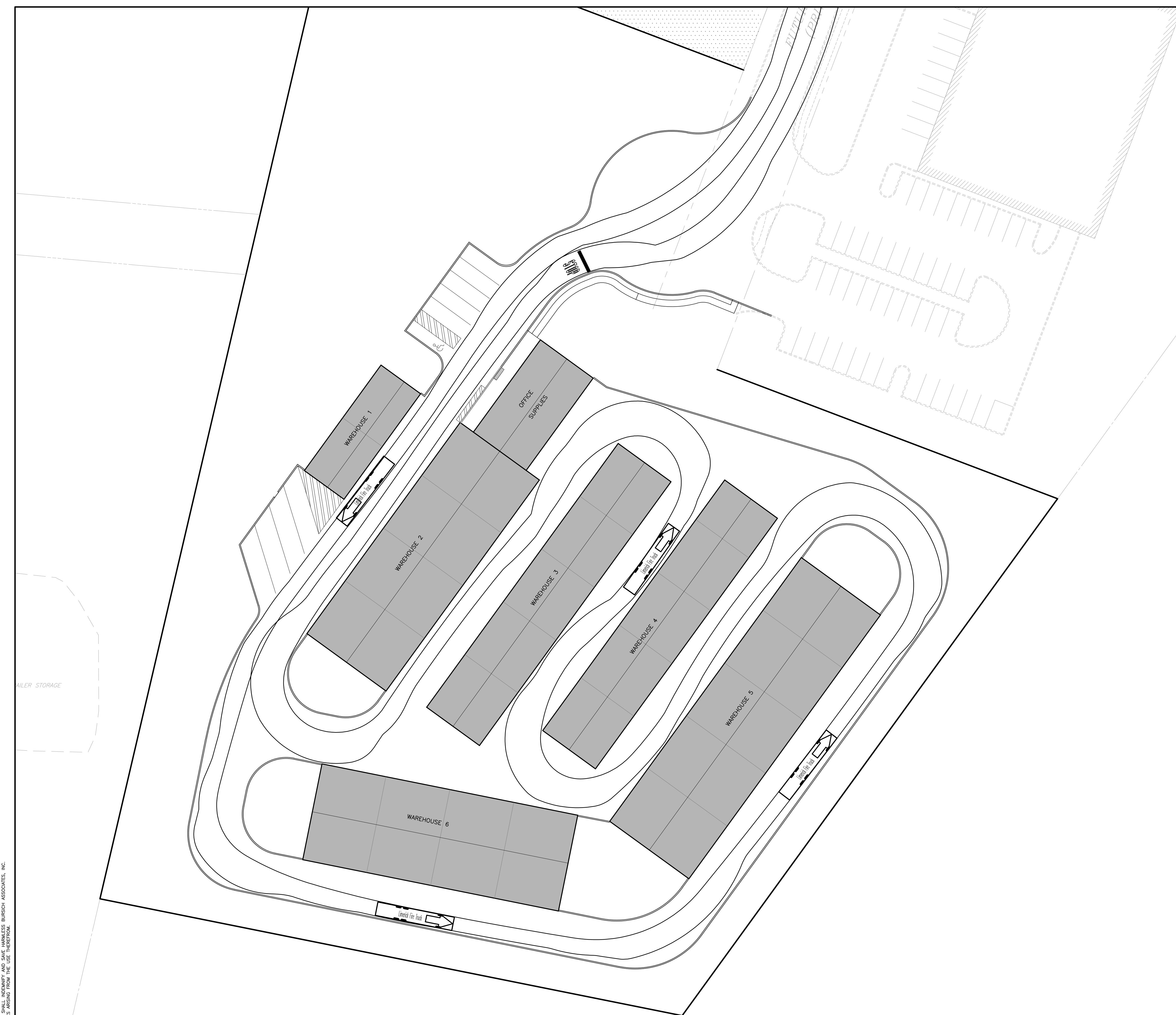
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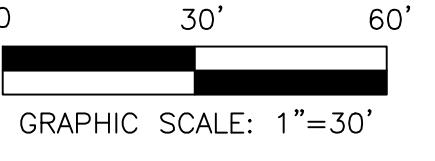
6 foot



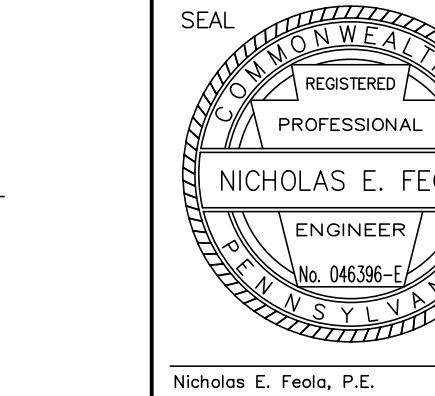
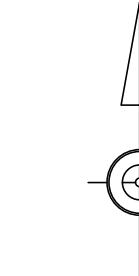
Limerick Fire Truck  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Max Wheel Angle

FIRE TRUCK DIMENSIONS DETAIL

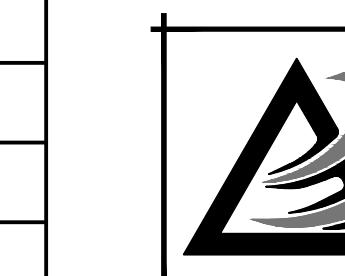
47.833  
 8.333ft  
 10.489ft  
 0.920ft  
 8.330ft  
 6.00s  
 45.00°



1	REVISED PER TOWNSHIP & CONSULTANT REVIEWS	2/16/23	DPC
NO.	REVISION	DATE	BY



MANAGER	KRK
DESIGN	KRK
DRAFT	STA
FILE	MOS-02
NOTES	SCALE 1''= 30'



**BURSICH  
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CLIENT  
 AMERICO P. MOSCARIOLLO  
 24 DONNY BROOK WAY  
 COLLEGEVILLE, PA 19426

SUBJECT  
 TRUCK TURNING PLAN  
**MOSCARIOLLO AT  
FUTURA DRIVE**  
 LIMERICK TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.  
**208152.00**  
 SHEET NO.  
**19 OF 19**  
 DWG. NO.  
**TT108152**