

BOARD OF SUPERVISORS OF LIMERICK TOWNSHIP	
CONDITIONAL USE APPLICATION : APPLICATION DATE: March 29, 2023 CU#23-01	HEARING DATE: May 2, 2023
VINCENT MAZZAMUTO	DECISION DATE: May 23, 2023
PARCEL NUMBER: 37-00-03928-03-1	

**ORDER OF THE BOARD OF SUPERVISORS
OF LIMERICK TOWNSHIP**

IT IS HEREBY ORDERED AND DECREED that the Limerick Township Board of Supervisors finds that the applicant, Vincent Mazzamuto, presented sufficient testimony to grant a conditional use pursuant to Section 184-231.A-2 of the Limerick Township Zoning Ordinance, to permit the construction of five (5) single family townhomes on the property located at 100 W. Ridge Pike, Unit #3, Limerick Township, Montgomery County, Pennsylvania, in the MS Main Street District. The Applicant has satisfied all criteria in Sections 184-43 and 184-231.A-2 of the Zoning Ordinance required for the present conditional use. Accordingly, the conditional use is **APPROVED**. This conditional use approval is subject to the following conditions:

- The Applicant shall comply with all notes, testimony, and exhibits offered at the Conditional Use Hearing on May 2, 2023;
- The Applicant shall comply with the current Township lighting standards and requirements for the Property to the satisfaction of the Township Engineer;
- The Applicant shall comply with the current Township landscaping and buffering standards and requirements for the Property to the satisfaction of the Township Engineer.

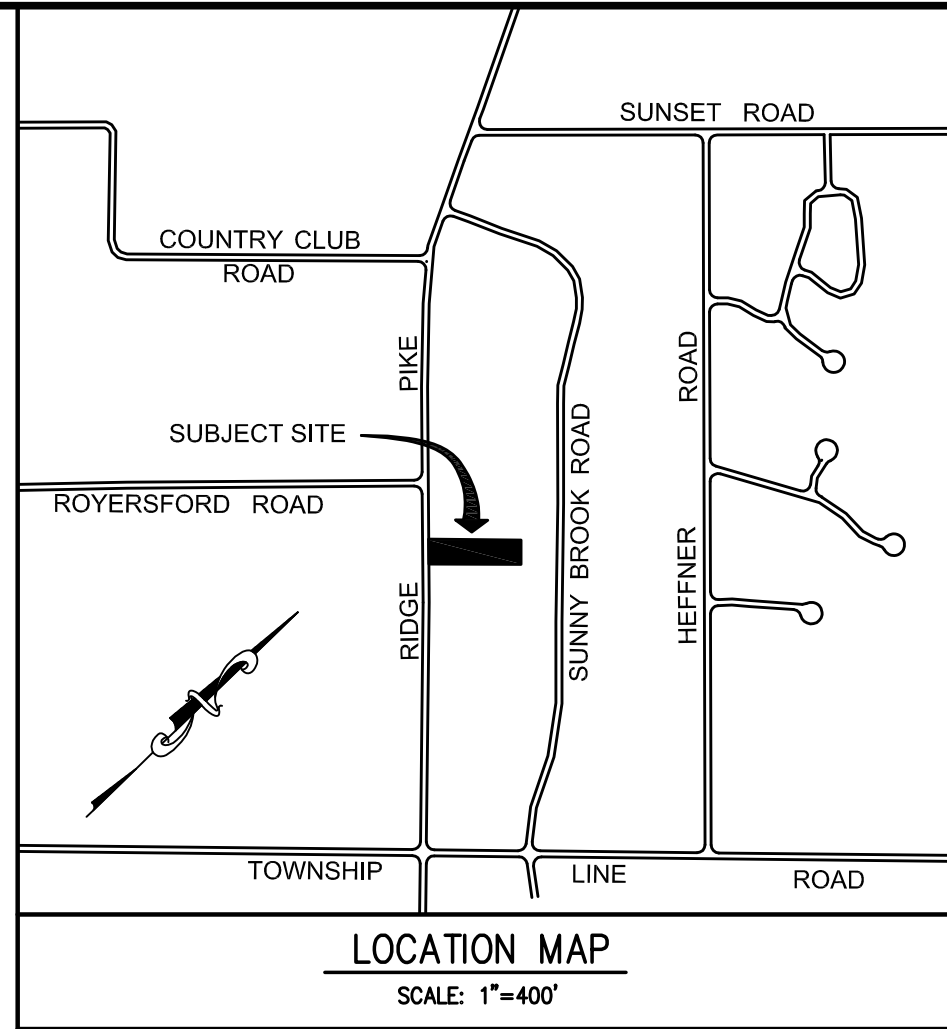
WAIVERS REQUESTED

FROM THE LIMERICK TOWNSHIP - SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - CHAPTER 155 AS LAST AMENDED.

NO.	SECTION	DESCRIPTION
1	155-27.1	REQUIRED: BUFFERS AND SCREENS PROPOSED: THE ORIGINAL PROPOSED IMPROVEMENTS INCLUDING LANDSCAPING WERE INSTALLED IN ACCORDANCE WITH THE PREVIOUSLY APPROVED LAND DEVELOPMENT PLANS AND THE CONSTRUCTION ESCROW RELEASED. BUFFER #1 REQUESTING WAIVER OF PLANT MATERIAL - ADJACENT TO VACANT LAND. BUFFERS #2 & 3 UTILIZE THE EXISTING TREES WITHIN AND ALONG THE PROPERTY LINES. (LIMERICK TOWNSHIP / TOWNSHIP ENGINEER SHALL REVIEW THE EXISTING BUFFERS AT THE COMPLETION OF CONSTRUCTION TO DETERMINE IF THE EXISTING LANDSCAPING MEETS THE INTENT OF THE LANDSCAPE REQUIREMENTS OR SHOULD BE SUPPLEMENTED WITH ADDITIONAL LANDSCAPE MATERIAL). BUFFER #4 - PARTIAL WAIVER - NOT PLANT 1 CANOPY TREE AND 5 EVERGREEN TREES DUE TO LACK OF AREA.
2	155-20.8.(1)	REQUIRED: PREPARE AN EXISTING RESOURCE AND SITE ANALYSIS MAP (ERSAM) SHOWING ENVIRONMENTALLY SENSITIVE AREAS, INCLUDING, BUT NOT LIMITED TO, STEEP SLOPES, PONDS, LAKES, STREAMS, WETLANDS, HYDROIC SOILS, VERNAL POOLS, STREAM BUFFERS, HYDROLOGIC SOIL GROUPS, WOODED AREAS, AND POTENTIAL INFILTRATION AREAS. PROPOSED: NOT TO PROVIDE THE REQUIRED (ERSAM) PLAN, THE ENTIRE SITE HAS BEEN PREVIOUSLY DISTURBED, AND IMPROVEMENTS CONSTRUCTED PER THE ORIGINAL LAND DEVELOPMENT. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS PRESENT ON THE SUBJECT PROPERTY.

GENERAL NOTES

- TOTAL SITE AREA = 3.437 ACRES (GROSS)
AREA TO ULT. ROW LINE = 3.209 ACRES (NET)
- BASE INFORMATION TAKEN FROM PLANS TITLED
A. "SITE IMPROVEMENT PLANS OF 100 WEST RIDGE PIKE" PREPARED FOR VINCENT & MARIANNA MAZZAMUTO, PREPARED BY CARROLL ENGINEERING CORPORATION, LAST REVISED OCTOBER 5, 2008.
B. "FINAL PLAN" (100 WEST RIDGE PIKE) PREPARED FOR VINCENT & MARIANNA MAZZAMUTO, PREPARED BY ASTON SURVEYORS/ENGINEERS, INC. LAST REVISED DATE JULY 25, 2003.
- EXISTING FEATURES SURVEY (WITHIN THE 2023 SURVEY LIMIT AREA) PERFORMED BY URWILER & WALTER, INC. IN JULY 2023. SANITARY SEWER AND WATER LINES SURVEYED ON ENTIRE SITE.
- BENCHMARK: ELEVATION: 286.60
DESCRIPTION: RM ELEVATION OF SAN. SEWER MH A225
LOCATION: IN THE BED OF RIDGE PIKE (S.R. 4031)
DATUM: SEWER AUTHORITY
- THIS PLAN SET IS A SUPPLEMENT ONLY TO CHANGE THE PREVIOUS PROPOSED DAYCARE BUILDING / USE TO A RESIDENTIAL BUILDING / USE.
FOR ALL OTHER COMPONENTS OF THE ORIGINAL APPROVED LAND DEVELOPMENT, REFER TO PLANS NOTED IN GENERAL NOTE 2.
- THE PURPOSE OF THIS RECORD PLAN IS TO AMEND THE PREVIOUSLY APPROVED/RECORDED RECORD PLAN (PLAN BOOK 024, PAGE 154) AND LIMERICK TOWNSHIP APPROVAL RESOLUTION LD 98-22.
- ALL UTILITIES SHALL BE PLACED UNDERGROUND AND SHALL ALSO OBTAIN LETTERS OF ENDORSEMENT FROM ALL UTILITY PROVIDERS.
- THERE ARE NO WOODLANDS, BY DEFINITION, LOCATED ON THE SITE THAT WILL BE REMOVED.
- THE PERMANENT REMOVAL OF TOPSOIL FROM FROM ANY PARCEL OF LAND SHALL BE PROHIBITED, EXCEPT AS FOLLOWS:
A. DURING ACTUAL CONSTRUCTION ON PREMISES, THAT PORTION OF THE TOPSOIL PRESENT WHICH COVERS AN AREA TO BE OCCUPIED BY PERMANENT STRUCTURES OR PERMANENTLY LOCATED MATERIALS OF AN IMPERVIOUS NATURE OR PONDS AND LAKES MAY BE CONSIDERED EXCESS AND MAY BE REMOVED BY THE OWNER.
B. DURING REGARDING OPERATIONS CONDUCTED UPON PREMISES, WHETHER OR NOT CARRIED ON IN CONJUNCTION WITH ON-SITE CONSTRUCTION, EXCESS TOPSOIL REMAINING AFTER RESTORING PROPER TOPSOIL COVER (AT LEAST EIGHT INCHES) TO THE AREAS OF THE PARCEL UPON WHICH REGARDING OPERATIONS WERE CONDUCTED MAY BE REMOVED BY THE OWNER.
- THERE ARE NO STEEP SLOPES LOCATED WITHIN THE SUBJECT PROPERTY.
- THE TOWNHOMES WILL BE HAVE CURB SIDE PICKUP FOR TRASH REMOVAL.
- THE ACCESSIBLE DESIGN, DETAILS AND CONFIGURATION HAVE BEEN PREPARED IN ACCORDANCE WITH THE DEPARTMENT OF JUSTICE, SEPTEMBER 15, 2010 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN MANUAL. ANY DISCREPANCY DISCOVERED PRIOR TO OR DURING CONSTRUCTION, INVOLVING THE EXISTING CONDITIONS OR DESIGN INFORMATION, DETAILS OR CONFIGURATION OF THE ACCESSIBLE DESIGN, SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER PRIOR TO START OR CONTINUED CONSTRUCTION.



COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THE _____ DAY OF _____, A.D. 20____, BEFORE ME, THE
SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN
_____, PERSONALLY APPEARED **VINCENT MAZZAMUTO AND MARIANNA MAZZAMUTO**, WHO IN DUE FORM OF LAW ACKNOWLEDGE THAT THEY EXECUTED THE
FOREGOING PLAN BY SIGNING SAME, THAT THEY ARE THE OWNERS OF THE
DESIGNATED PROPERTY, THAT ALL NECESSARY APPROVAL OF PLAN HAS BEEN OBTAINED
AND IS ENDORSED HEREON AND THAT THEY DESIRE THE FOREGOING PLAN TO BE
RECORDED ACCORDING TO LAW.

MY COMMISSION EXPIRES _____ OWNER: _____
NOTARY PUBLIC OWNER: _____

I, **ME, VINCENT MAZZAMUTO AND MARIANNA MAZZAMUTO** HAVE LAID OUT UPON MY/OUR
LANDS SITUATE IN THE TOWNSHIP OF LIMERICK, COUNTY OF MONTGOMERY,
COMMONWEALTH OF PENNSYLVANIA, CERTAIN LOTS AND STREETS ACCORDING TO THE
ACCOMPANYING PLAN WHICH IS INTENDED TO BE RECORDED.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 20____

VINCENT MAZZAMUTO **MARIANNA MAZZAMUTO** DATE _____

APPROVED BY THE SUPERVISORS OF LIMERICK TOWNSHIP
THIS _____ DAY OF _____, 20____

CHAIRMAN VICE CHAIRMAN
MEMBER SECRETARY

APPROVED BY THE PLANNING COMMISSION OF LIMERICK TOWNSHIP
THIS _____ DAY OF _____, 20____

CHAIRMAN
DATE

REVIEWED BY THE TOWNSHIP ENGINEER.
DATE

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT THE
MONUMENTS SHOWN HEREON EXIST AS LOCATED, AND THAT ALL THE DIMENSIONAL &
GEODETIC DETAILS ARE CORRECT.

PAUL YASKOWSKI
REGISTERED SURVEYOR DATE _____

MCPC No. **23-0195-001**

PROCESSED AND REVIEWED. A report has been prepared by the
Montgomery County Planning Commission in accordance with the
Municipalities Planning Code.

Certified this date _____
For the Director _____
Montgomery County Planning Commission

USER NOTICE
ANY USER OF THESE PLANS IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE AGENCY
IN THE EVENT OF DISCREPANCIES BETWEEN PLAN, PLAN DETAILS, SHOP DRAWINGS,
CONSTRUCTION STANDARDS, AND FIELD CONDITIONS. THE APPLICABLE AGENCY MUST BE
CONTACTED AND DISCREPANCIES RESOLVED BEFORE PROPOSED IMPROVEMENTS ARE
CONSTRUCTED. THE PREPARER OF THESE PLANS AND ALL REVIEWING AGENCIES ARE NOT
LIABLE FOR ANY DISCREPANCIES.

OWNER OF RECORD & APPLICANT
VINCENT & MARIANNA MAZZAMUTO TAX PARCEL: 37-00-03928-03-1
1843 RIDGE PIKE 37-00-03928-00-4
LIMERICK, PA 19468 37-00-03928-02-2
PH: 610-489-1323 37-00-03928-01-3
DEED BOOK: 5128 PAGE: 3886

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED
FROM EXISTING RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE.
COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE
GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL
UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK BY
CALLING PA ONE CALL (DIAL 811) THREE DAYS PRIOR TO EXCAVATION.
REFERENCE NUMBER: 20231591977

REVISIONS
DATE DESCRIPTION

11-20-2023 TWP ENGR LTR 10-17-23 & TWP TRAFFIC ENGR LTR 10-12-23

RIDGE PIKE SR. 4031

EXISTING DRIVEWAY

LEGAL R/W LINE

LEGEND

ZONING DISTRICT LINE	---
EXISTING PROPERTY LINE	---
EXISTING EDGE OF MACADAM	---
BUFFER LINE	---
PROPOSED LOT LINE	---

IMPERVIOUS SURFACE COMPARISON-ALTERED PORTION OF SITE

PREVIOUSLY APPROVED LAND DEVELOPMENT	17,854 SQUARE
REVISED LAND DEVELOPMENT	14,083 SQUARE FEET

ALLOWABLE RESIDENTIAL DENSITY PER Z.O. 184-231.A(2)(a)

ONE RESIDENTIAL UNIT PER 1,200 S.F. OF NON-RESIDENTIAL GROSS FLOOR AREA
13,686 S.F. NON-RESIDENTIAL GROSS FLOOR AREA / 1,200 S.F. = 11 UNITS
PROPOSED NUMBER OF UNITS = 5 UNITS (CONDITIONAL USE REQUIRED)

REQUIRED PARKING

	REQUIRED
PREVIOUSLY APPROVED RESTAURANT	5,000 SF / 100 SF = 50 SPACES
EXISTING RETAIL BUILDING	8,686 SF / 250 SF = 35 SPACES
PROPOSED RESIDENTIAL UNITS	5 UNITS X 2 SPACES / UNIT = 10 SPACES
TOTAL REQUIRED	95 SPACES

TOTAL PARKING PROVIDED FOR RESTAURANT AND RETAIL STORES = 92 SPACES
TOTAL PARKING PROVIDED FOR RESIDENTIAL PORTION OF SITE = 16 SPACES
(DOES NOT INCLUDE GARAGES)
NOTE: ALL SPACES AT 9.5' X 18' WITH 25' WIDE ISLES

PROPOSED IMPERVIOUS SURFACE CHART (ALTERED AREA ONLY)

PROPOSED BUILDING =	5,975 SF.
PROPOSED MACADAM DRIVEWAYS =	1,290 SF.
PROPOSED REVISED MACADAM AREA=	6,366 SF.
PROPOSED CONCRETE (LEAD WALKS)=	380 SF.
PROPOSED CONCRETE (DUMPSTER PAD)=	72 SF.
*PROPOSED DECKS=	600 SF.
TOTAL =	14,083 SF.
*DECKS NOT INCLUDED IN IMPERVIOUS SURFACE	

ZONING DATA - MS MAIN STREET DISTRICT

BY RIGHT USES - PREVIOUSLY APPROVED RESTAURANT & RETAIL SALES PER RESOLUTION 98-22
CONDITIONAL USE - SINGLE-FAMILY ATTACHED (Z.O. 185-231.A.2)
(REFER TO CONDITIONAL USE ORDER DATED MAY 23, 2023.)

SINGLE-FAMILY ATTACHED AND TWO-FAMILY		PROPOSED SINGLE-FAMILY ATTACHED	
REQUIRED		REFER TO LOT CHART	
MINIMUM GROSS LOT AREA	1,800 SF PER UNIT	25 FEET	25 FEET
MINIMUM LOT WIDTH	24 FEET PER UNIT	25 FEET	25 FEET
MAXIMUM FRONT YARD	25 FEET	25 FEET	25 FEET
MINIMUM FRONT YARD BUILDING SETBACK	NA	NA	NA
MINIMUM FRONT YARD BUILDING SETBACK FROM ROADWAYS OTHER THAN RIDGE PIKE	300 FEET	539.94 FEET	539.94 FEET
MINIMUM SIDE YARD FOR BUILDINGS WITH HEIGHTS OF 35 FT OR LESS	7.5 FEET	11.96 FEET	11.96 FEET
MINIMUM REAR YARD FOR BUILDINGS WITH HEIGHTS OF 35 FT OR LESS	20 FEET	33.62 FEET	33.62 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	LESS THAN 35 FEET	LESS THAN 35 FEET
MAXIMUM BUILDING GROSS FLOOR AREA	35 FEET	LESS THAN 35 FEET	LESS THAN 35 FEET
MAXIMUM BUILDING COVERAGE (% NET LOT AREA)	65 PERCENT	44.61 PERCENT (LOT 4)	44.61 PERCENT (LOT 4)
MAXIMUM IMPERVIOUS COVERAGE (% NET LOT AREA)	NA	NA	NA
MINIMUM PARKING LOADING AREA SETBACK	NA	NA	NA
FRONT LOT LINE	NA	N/A	N/A
SIDE OR REAR LOT LINE (RESIDENTIAL DISTRICT)	NA	N/A	N/A
SIDE OR REAR LOT LINE (NON RESIDENTIAL DISTRICT)	NA	N/A	N/A
FROM BUILDING	NA	N/A	N/A
MINIMUM DISTANCE BETWEEN BUILDINGS	15 FEET	N/A	N/A
MINIMUM SIZE OF COMMON USE AREA	11,000 S.F.	N/A (LESS THAN 30 UNITS)	N/A (LESS THAN 30 UNITS)
MINIMUM PERIMETER DIMENSION OF COMMON USE AREA	50 FEET	NA	NA

LOT CHART

LOT #	LOT AREA	BUILDING COVERAGE	IMPERVIOUS COVERAGE
1	4,331 SF	1,224 SF 28.26%	1,626 SF 37.54%
2	2,655 SF	1,176 SF 44.29%	1,461 SF 55.03%
3	2,645 SF	1,175 SF 44.46%	1,439 SF 54.40%
4	2,636 SF	1,175 SF 44.61%	1,459 SF 55.35%
5	4,263 SF	1,224 SF 28.71%	1,626 SF 38.14%

TABULATION OF SHEETS

SHEET NUMBERS	DESCRIPTION
1	RECORD PLAN
2	EXISTING FEATURES PLAN
3	GRADING PLAN
4	GRADING ENLARGEMENT PLAN
5	UTILITY PLAN
6	LANDSCAPE & LIGHTING PLAN
7	LANDSCAPE DETAIL PLAN
8-11	EROSION CONTROL PLANS
12	WATER LINE DETAIL PLAN
13	SANITARY SEWER DETAIL PLAN
14	GENERAL CONSTRUCTION DETAIL PLAN
15	ADA RAMP ENLARGEMENT PLAN
16	ADA RAMP DETAIL PLAN
17	SURROUNDING FEATURES PLAN
18	EMERGENCY SERVICES PLAN

**RECORD PLAN (1 of 1)
FOR THE RESIDENTIAL COMPONENT OF
100 WEST RIDGE PIKE**

PREPARED FOR

**VINCENT & MARIANNA
MAZZAMUTO**

SITUATE IN

**LIMERICK TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

**SEPTEMBER 22, 2023
PROJECT No. 22074
FILE: 22074-BASE LD**

SCALE: 1"=30'